






# ND Department of Commerce Apple Creek Rest Area Renovation

Bismarck, ND

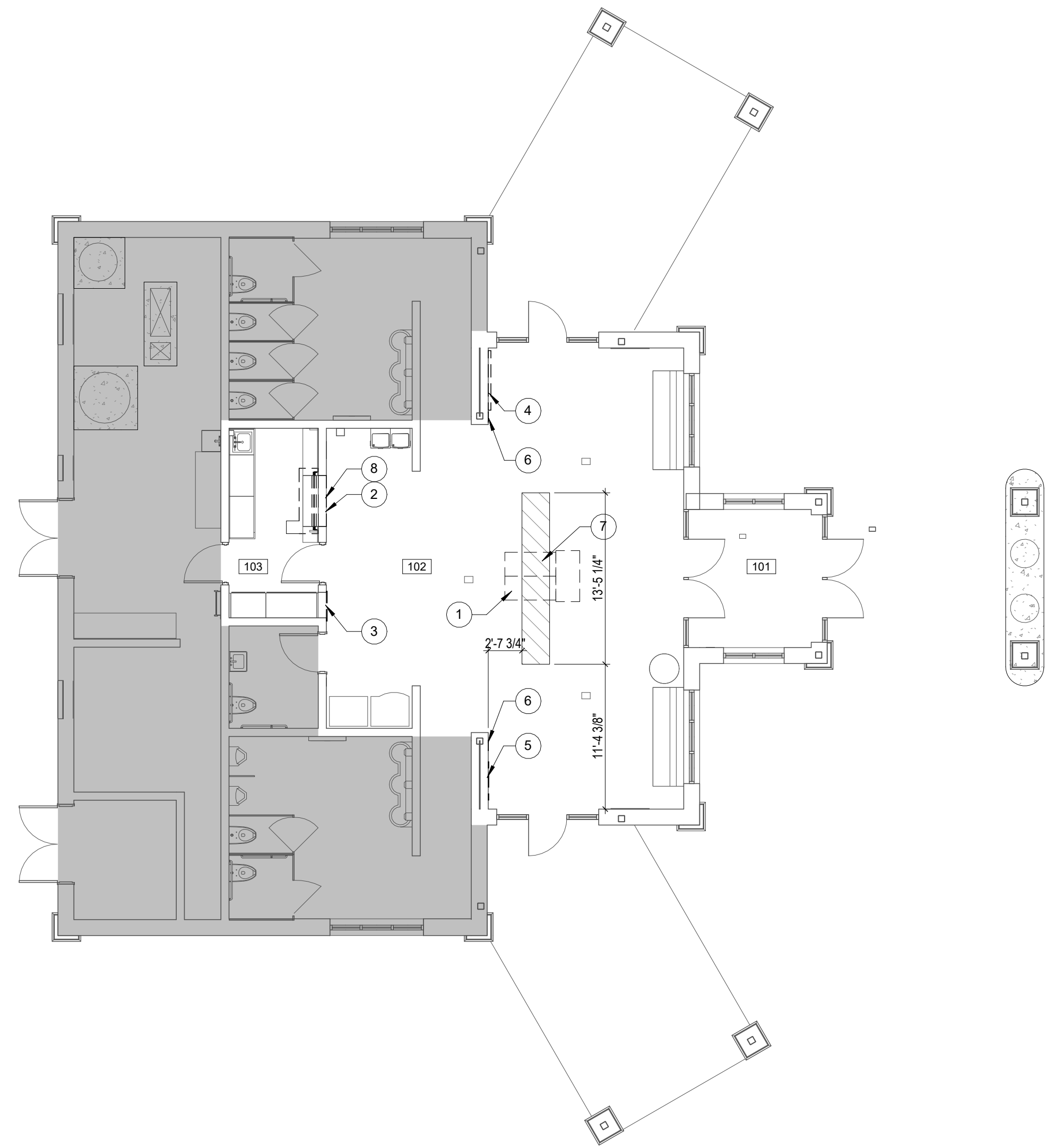
Contract Documents

December 10, 2024

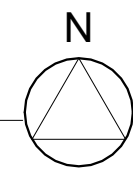


INDEX	VICINITY MAP	SET #
<p><u>COVER SHEET</u></p> <p><u>ARCHITECTURAL</u></p> <p>A001 Main Floor Demolition Plan                      A101 Main Floor Renovation Plan &amp; Details                      A501 Main Floor Room Finish &amp; Reflected Ceiling Plans and Detail                      A801 Interior &amp; Casework Elevations and Section</p> <p><u>ELECTRICAL</u></p> <p>E101 Symbols &amp; Demolition Plan                      E102 Electrical Plans</p>		<p>ND DEPARTMENT OF COMMERCE                      APPLE CREEK REST AREA RENOVATION                      BISMARCK, ND 58558</p> 
ELECTRICAL	ARCHITECT	OWNER
 <p><b>APEX ENGINEERING GROUP</b></p> <p>600 SOUTH SECOND STREET, SUITE 145                      BISMARCK, ND 58504                      CONTACT: JOHN KLEIN, PE                      PHONE: (701) 323-3950</p>	 <p><b>J2 STUDIO ARCHITECTURE + DESIGN, PC</b></p> <p>919 SOUTH SEVENTH STREET, SUITE 400                      BISMARCK, ND 58504                      CONTACT: JAMES DEVINE, AIA, NCARB, LEED AP                      PHONE: (701) 255-1622</p>	 <p><b>NORTH DAKOTA DEPARTMENT OF COMMERCE</b></p> <p>1600 E CENTURY AVE, SUITE 6                      BISMARCK, ND 58503                      CONTACT: HEATHER LAMOINE                      PHONE: (701) 328-5300</p>

ND Department of Commerce Apple Creek Rest Area Renovation  
 J2 Studio Project #: J22401  
 December 10, 2024  
 Contract Documents  
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1 Main Floor Demolition Plan  
Scale: 1/8" = 1'-0"



**GENERAL DEMOLITION NOTES:**

1. GENERAL CONTRACTOR TO FIELD VERIFY ALL CONDITIONS PRIOR TO DEMOLITION. GENERAL CONTRACTORS SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
2. COORDINATE WITH THE OWNER AND PRE-APPROVE DISRUPTION SERVICES. VERIFY LOCATION OF EACH SERVICE WITHIN THE EXISTING BUILDING SO AS TO MINIMIZE THE DISRUPTION OF SERVICE.
3. G.C. TO CONSTRUCT TEMPORARY CONSTRUCTION PARTITIONS WITHIN THE EXISTING BUILDING TO ISOLATE DEMOLITION/CONSTRUCTION WORK FROM THE GENERAL PUBLIC AND AS DEEMED NECESSARY BY THE OWNER. COORDINATE LOCATIONS WITH THE OWNER AND MAINTAIN MEANS OF EGRESS THROUGHOUT THE WORK.
4. REMOVE IN THEIR ENTIRETY. ALL MATERIALS REQUIRED TO EXECUTE DEMOLITION AND CONSTRUCTION OF THE PROJECT.
5. REMOVE ALL DEMOLITION MATERIALS FROM THE SITE, UNLESS NOTED OTHERWISE. THE OWNER RESERVES THE RIGHT TO SALVAGE ANY MATERIALS.
6. PROVIDE PROTECTION FOR ALL EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION RELATED ACTIVITIES PERFORMED UNDER THIS CONTRACT.
7. REPAIR OR REPLACE ANY WALLS, FLOORS, OR EQUIPMENT DAMAGED FROM DEMOLITION OR CONSTRUCTION ACTIVITIES. MATCH EXISTING FINISH OR CONDITION.
8. VERIFY AND MAINTAIN THE LOCATION OF EXISTING POWER, COMMUNICATION, AND DATA CABLES SO AS NOT TO INADVERTENTLY INTERRUPT THE CONTINUITY OF THEIR SERVICE.
9. PATCH ALL FLOOR AND CEILING PENETRATIONS RESULTING FROM REMOVAL OR REROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, ETC. AS REQUIRED TO MAINTAIN FIRE SEPARATIONS. PATCH AS REQUIRED TO MATCH NEW OR EXISTING ADJACENT SURFACES.
10. CAP ALL DISCONNECTED MECHANICAL PIPING AND ELECTRICAL CONDUIT WITHIN THE WALLS, FLOOR AND/OR CEILING AREAS, PATCH AS REQUIRED TO MATCH NEW OR EXISTING ADJACENT SURFACE.
11. REFER TO ELECTRICAL DRAWINGS AND NOTES FOR FURTHER SEQUENCING AND SCOPE OF WORK.
12. WHERE REMOVAL OF AN ITEM OR EQUIPMENT WOULD INTERRUPT ELECTRICAL OR PLUMBING SERVICE TO OTHER REMAINING EQUIPMENT, THE CONTRACTOR SHALL EXTEND SUCH SERVICE TO THE REMAINING DEVICES AND EQUIPMENT TO MAINTAIN THEIR OPERATION.

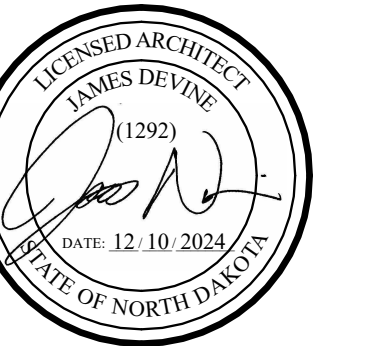
**SPECIFIC DEMOLITION NOTES:**

1. REMOVE EXISTING PAMPHLET DISPLAY IN ITS ENTIRETY AND RETURN TO OWNER.
2. REMOVE EXISTING COILING DOOR IN ITS ENTIRETY.
3. REMOVE EXISTING PLYWOOD DISPLAY BOARD IN ITS ENTIRETY.
4. REMOVE EXISTING MAP DISPLAY IN ITS ENTIRETY AND RETURN TO OWNER.
5. REMOVE EXISTING PLAQUE AND RETAIN FOR REINSTALLATION AT NEW LOCATION.
6. REMOVE EXISTING MEN'S OR WOMEN'S RESTROOM SIGNAGE AND RETAIN FOR REINSTALLATION AT NEW LOCATION.
7. REMOVE, MODIFY AND REINSTALL EXISTING CEILING TILES AND GRID, IN THIS AREA, AS REQUIRED FOR INSTALLATION OF NEW SOFFIT.
8. CUT BACK EXISTING WINDOW SILL/COUNTERTOP TO INSIDE OF EXISTING STORAGE ROOM.

REVISIONS		
MARK	DATE	DESCRIPTION

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**ND Department of Commerce  
Apple Creek Rest Area  
Renovation  
Bismarck, ND**

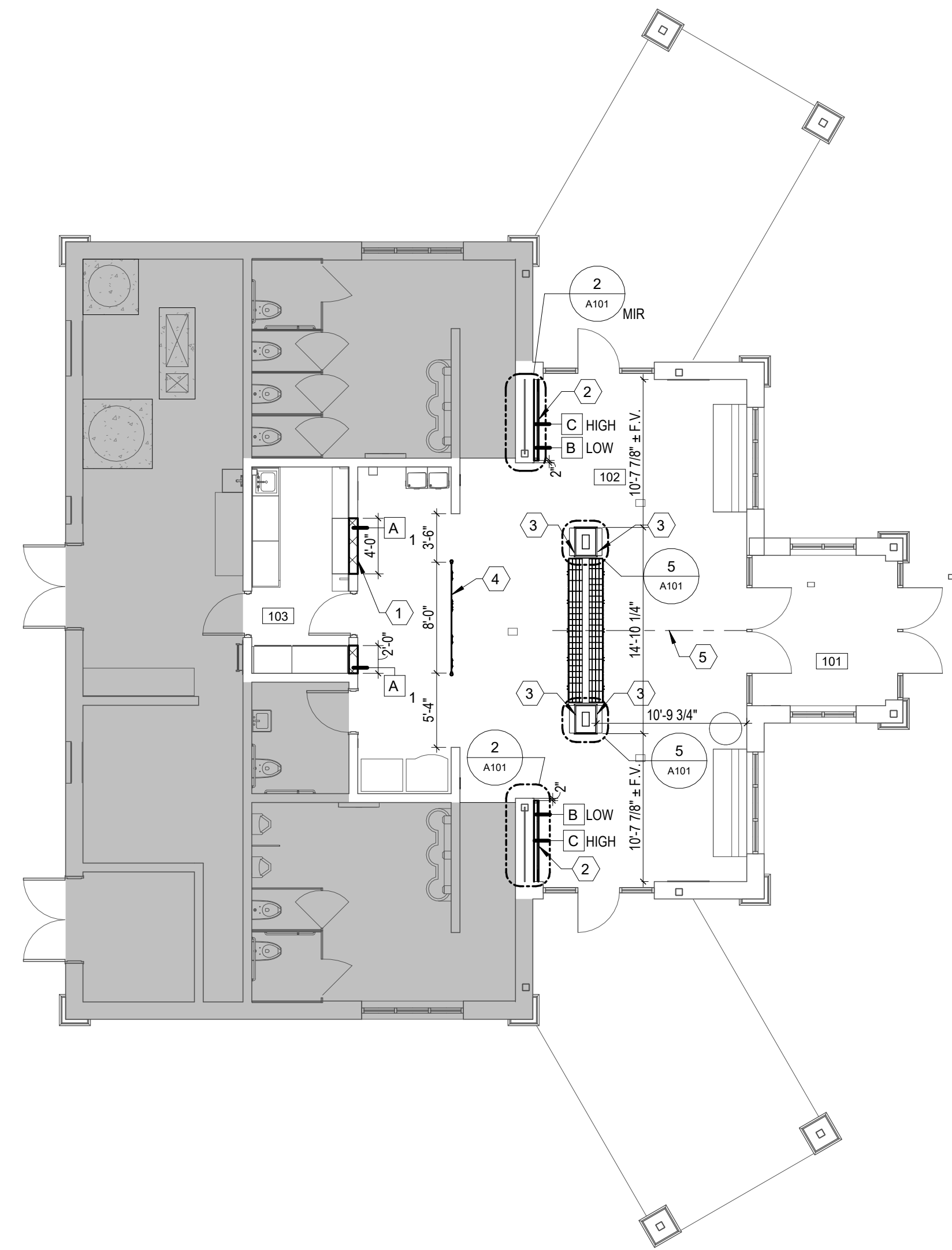


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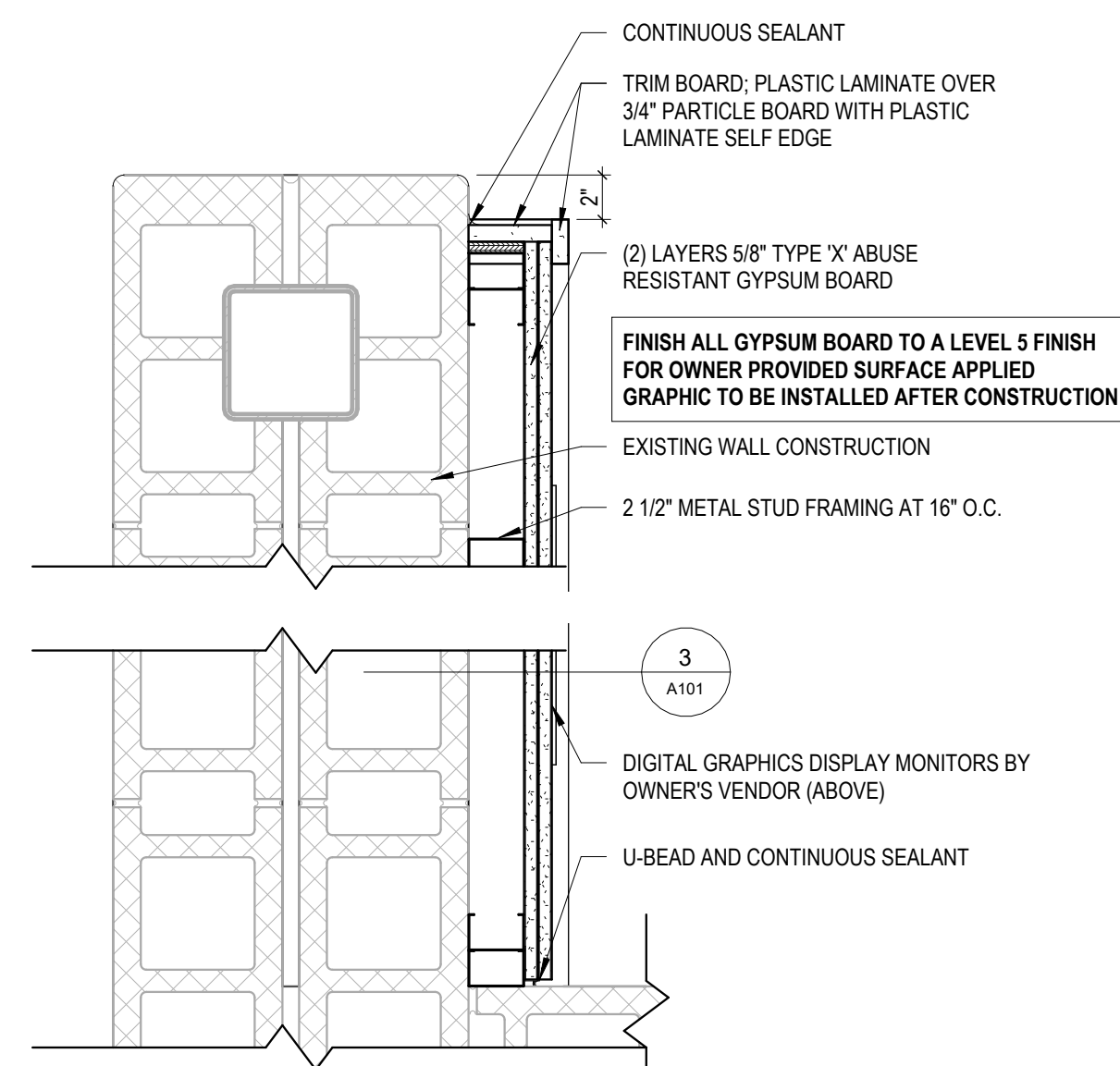
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**Main Floor Demolition Plan**

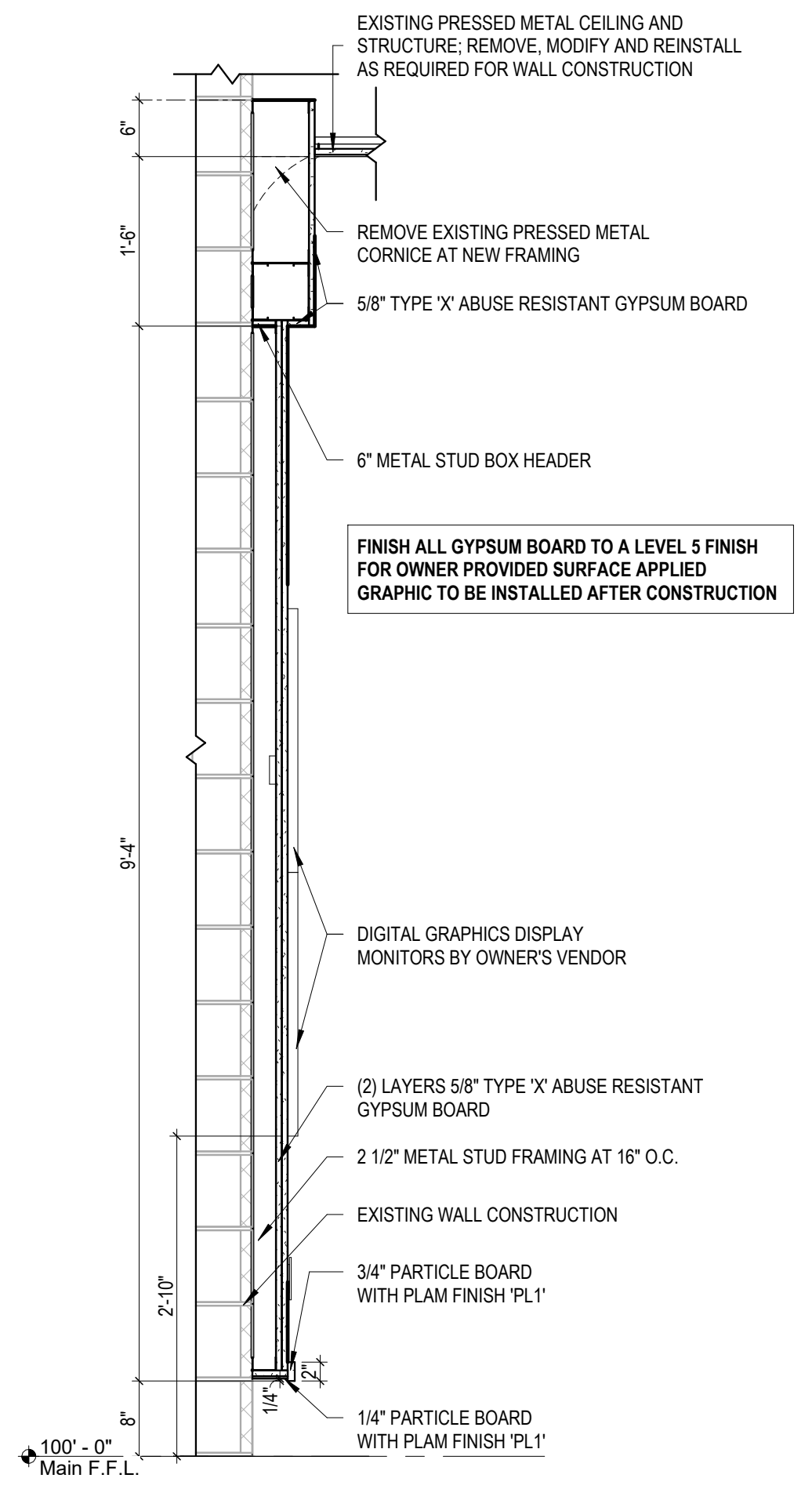
**A001**



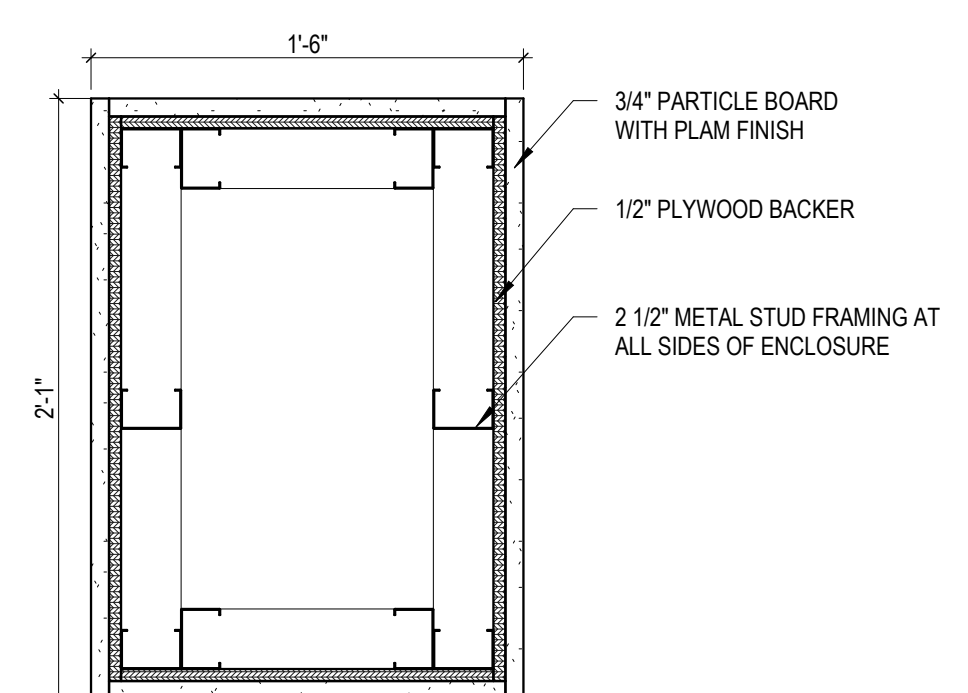
1 Main Floor Renovation Plan  
Scale: 1/8" = 1'-0"



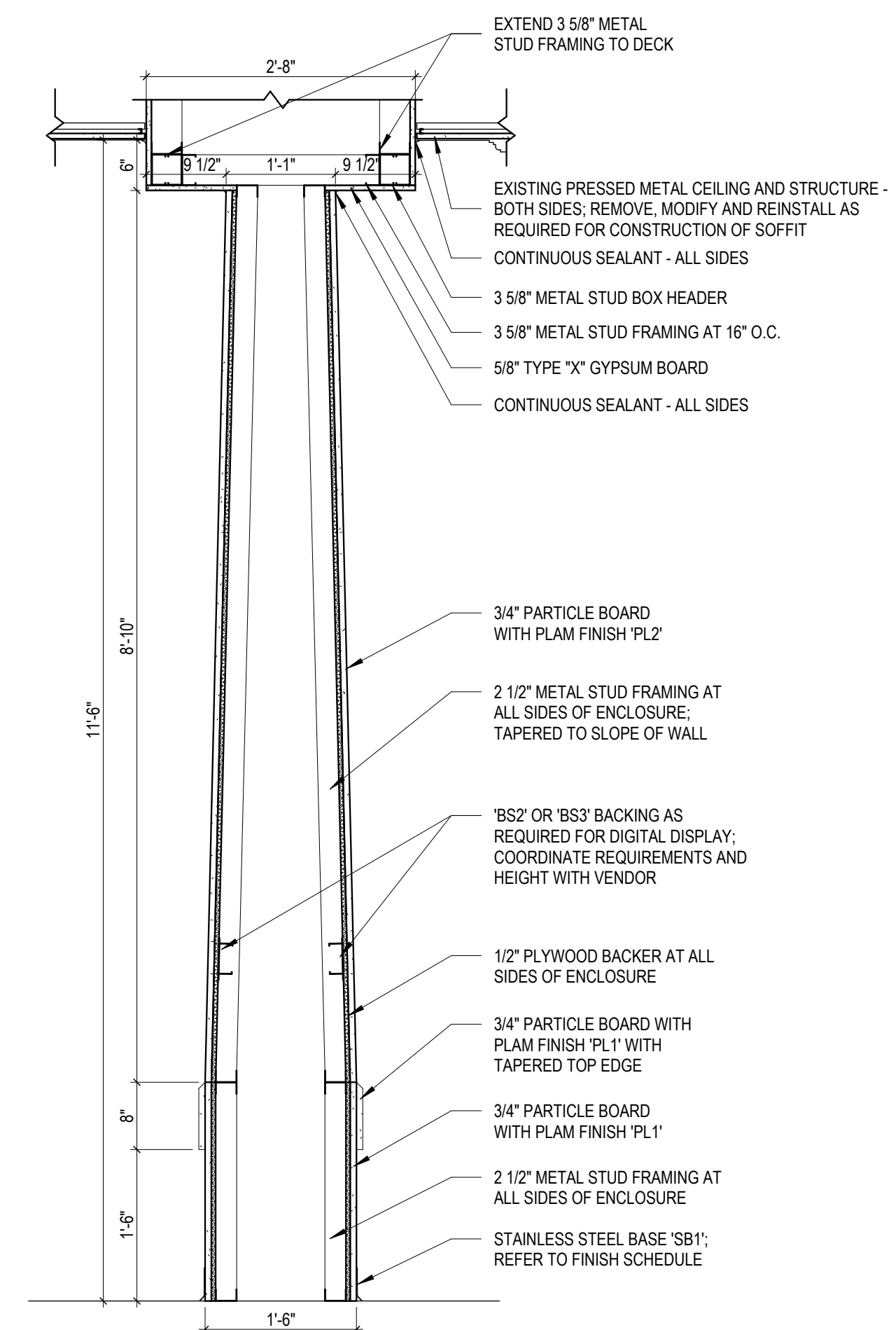
2 Plan Detail at Wall Furring  
Scale: 1 1/2" = 1'-0"



3 Wall Section  
Scale: 3/4" = 1'-0"



5 Plan Detail at Column Enclosure  
Scale: 1 1/2" = 1'-0"



4 Wall Section  
Scale: 3/4" = 1'-0"

**GENERAL PLAN NOTES:**

- GENERAL CONTRACTOR TO COORDINATE CONSTRUCTION ACTIVITIES WITH OWNER.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK.
- GENERAL CONTRACTOR TO COORDINATE OWNER PROVIDED EQUIPMENT INSTALLATION.
- ALL WORK SHALL MEET ALL APPLICABLE BUILDING CODES AND REQUIREMENTS.

**SPECIFIC PLAN NOTES:**

- EXISTING, RELOCATED PLAQUE: MOUNT AT SAME HEIGHT AS PREVIOUS LOCATION AND MATCH OTHER PLAQUES.
- NEW DIGITAL DISPLAY BY OWNER; REFER TO ELECTRICAL FOR CONNECTIONS.
- NEW DIGITAL DISPLAY BY OWNER, AT EACH SIDE OF THE COLUMN ENCLOSURE; REFER TO ELECTRICAL FOR CONNECTIONS.
- STATIC DISPLAY GRAPHIC WITH SURFACE MOUNTED STAND-OFF IMAGES; BASIS-OF-DESIGN MDC DIGITALLY PRINTED ACRYLIC DIVIDER PANELS WITH ROD KIT; IMAGES TO BE PROVIDED BY OWNER.
- ALIGN CENTER OF PAMPHLET DISPLAY WITH CENTER OF DOUBLE DOOR MULLION.

ROOM LEGEND	
MAIN FLOOR	
101	VESTIBULE(E)
102	LOBBY(E)
103	STORAGE
103	STORAGE(E)

**CODE INFORMATION:**

OCCUPANCY CLASSIFICATION: A-4 (ASSEMBLY)  
 TYPE OF CONSTRUCTION: TYPE II-B  
 OCCUPANCY LOAD (PER 1004.5): 110  
 BASE ALLOWABLE AREA (TABLE 506.2): 9,500 SF  
 ACTUAL AREA: 2,380 SF  
 AREA OF RENOVATION: 150 SF

**NOTES:**

- INFORMATION BASED ON 2021 EDITION OF THE INTERNATIONAL EXISTING BUILDING CODE (2021 IEBC).
- ALL CONSTRUCTION TO MEET ALL APPLICABLE CODES, INCLUDING 2021 IEBC.
- TYPE OF CONSTRUCTION IS ASSUMED BASED ON CASUAL OBSERVATION AND PROPOSED CONSTRUCTION.
- THE PROPOSED SCOPE OF WORK COMPLIES WITH ALTERATIONS - SECTION 603, LEVEL 1. THE WORK INCLUDES THE REMOVAL AND REPLACEMENT OF EXISTING EQUIPMENT, FIXTURES OR ELEMENTS USING EQUIPMENT, FIXTURES OR ELEMENTS THAT SERVE THE SAME PURPOSE.
- PER TABLE 1004.5 (2021 IBC) MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT ARE DEFINED AS FOLLOWS:  
 A. STORAGE/MECHANICAL AREA OF 300 GROSS.  
 B. ASSEMBLY AREA OF 15 NET.
- AN AUTOMATIC SPRINKLER SYSTEM IS NOT INSTALLED IN THE BUILDING. PER TABLE 1017.2 (2021 IBC); EXIT ACCESS TRAVEL DISTANCE WITHOUT A SPRINKLER SYSTEM SHALL NOT EXCEED 200'.
- PER TABLE 804.4.1.1 (2); A MINIMUM OF 2 EXITS ARE REQUIRED SINCE THE OCCUPANT LOAD IS OVER 35. 3 EXITS ARE PROVIDED.
- PER 809.1; PLUMBING FIXTURES SHALL BE PROVIDED IN QUANTITIES AS SPECIFIED IN THE INTERNATIONAL PLUMBING CODE IF THE OCCUPANT LOAD OF THE STORY IS INCREASED BY MORE THAN 20 PERCENT. THE OCCUPANT LOAD OF THE BUILDING REMAINS UNCHANGED WITH THE RENOVATION.
- FIRE EXTINGUISHERS FOR CLASS A FIRE HAZARDS SHALL BE PROVIDED PER IBC 2021. MAXIMUM FLOOR AREA FOR EXTINGUISHER = 11,250 SF AND MAXIMUM TRAVEL DISTANCE OF 75 FEET.

**LEGEND:**

OFFICE	ROOM NAMES
101	ROOM NAME
101	ROOM NUMBER
1	BUILDING ELEVATIONS / SECTIONS
A201	ELEVATION NUMBER
A201	SHEET NUMBER
101 A	DOORS
101 A	DOOR NUMBER
101 A	DOOR LETTER
101 A	REFER TO SHEET A601 FOR SCHEDULE
1	WINDOWS
1	WINDOW TYPE
1	REFER TO SHEET A601 FOR SCHEDULE
A	WALL TYPES
A	WALL TYPE
A	WALL TYPE NOTE
1	DETAIL MARK
A601	DETAIL NUMBER
A601	SHEET NUMBER
1	INTERIOR ELEVATION
A701	ELEVATION NUMBER
A701	SHEET NUMBER
T1	EQUIPMENT
T1	EQUIPMENT NUMBER
1	DEMOLITION KEYNOTE
1	ITEM NUMBER - REFER TO SPECIFIC DEMOLITION NOTES
1	PLAN KEYNOTE
1	ITEM NUMBER - REFER TO SPECIFIC NOTES

**WALL TYPE SCHEDULE**

TYPE	STYLE	PLAN VIEW
A	8" CMU	
B	(2) LAYERS 5/8" TYPE 'X' ABUSE RESISTANT GYPSUM BOARD 2 1/2" METAL STUDS AT 16" O.C. EXISTING 8" CMU	
C	5/8" TYPE 'X' GYPSUM BOARD 6" METAL STUDS AT 16" O.C. EXISTING 8" CMU	

**WALL TYPE NOTES**

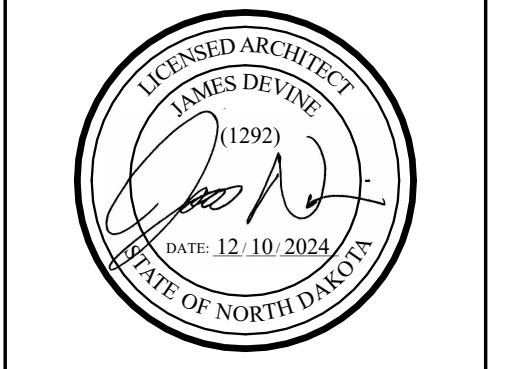
TYPE	NOTE
1	INFILL EXISTING OPENING TO MATCH ADJACENT WALL WIDTH; FINISH PER A601.

**REVISIONS**

MARK	DATE	DESCRIPTION

**Contract Documents**

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 J2 Project No. J22401



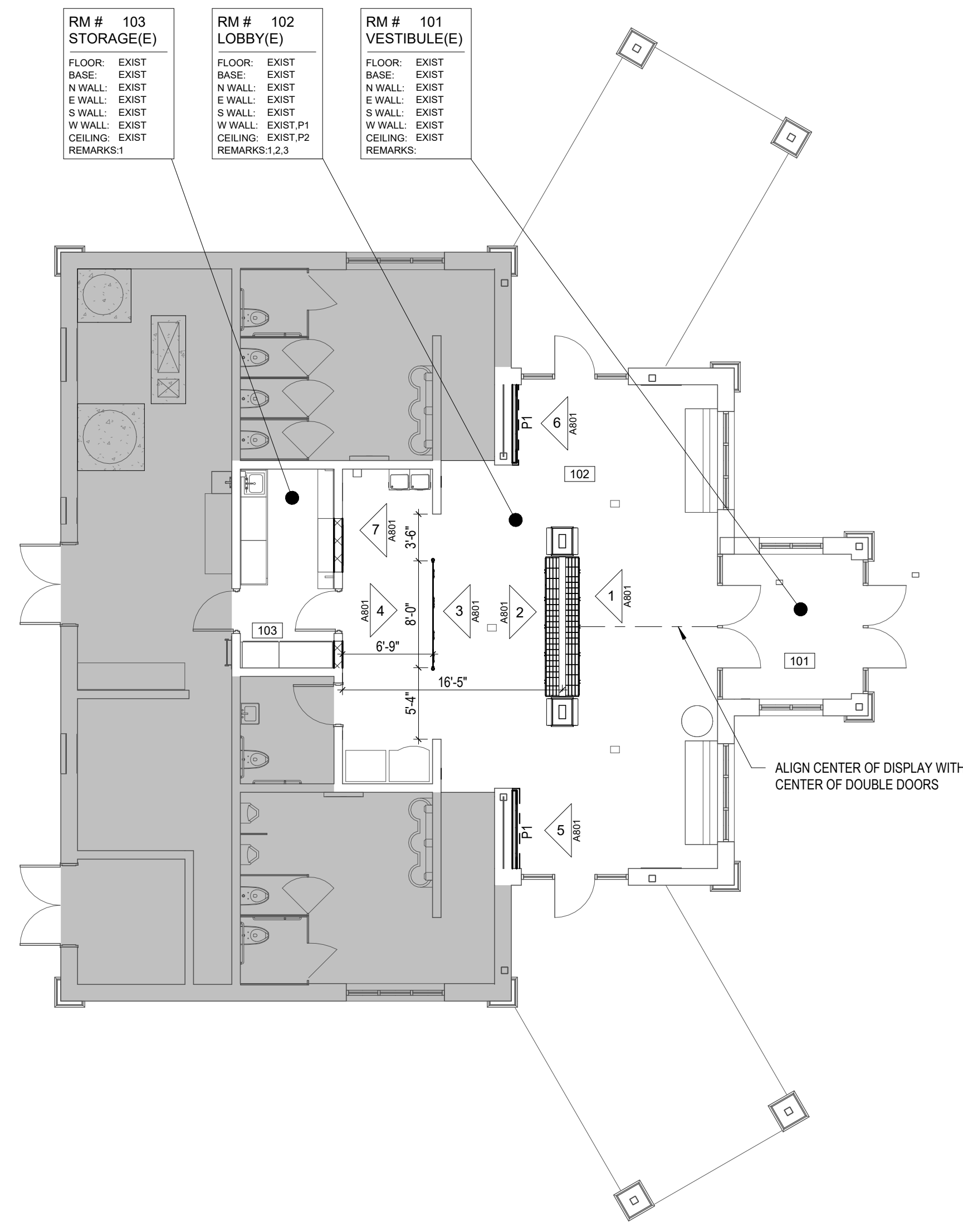
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**Renovation**  
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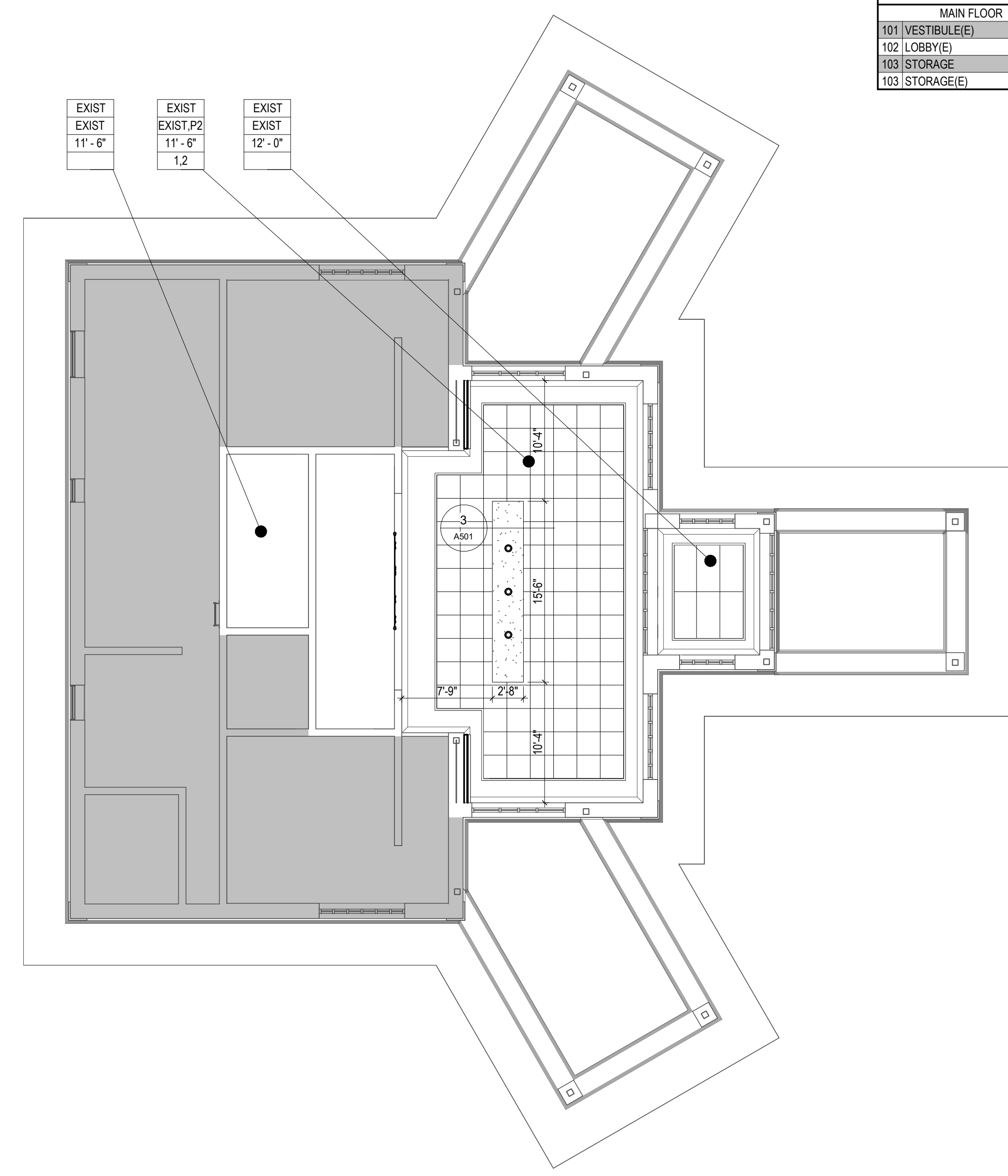
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**Main Floor Renovation Plan & Details**

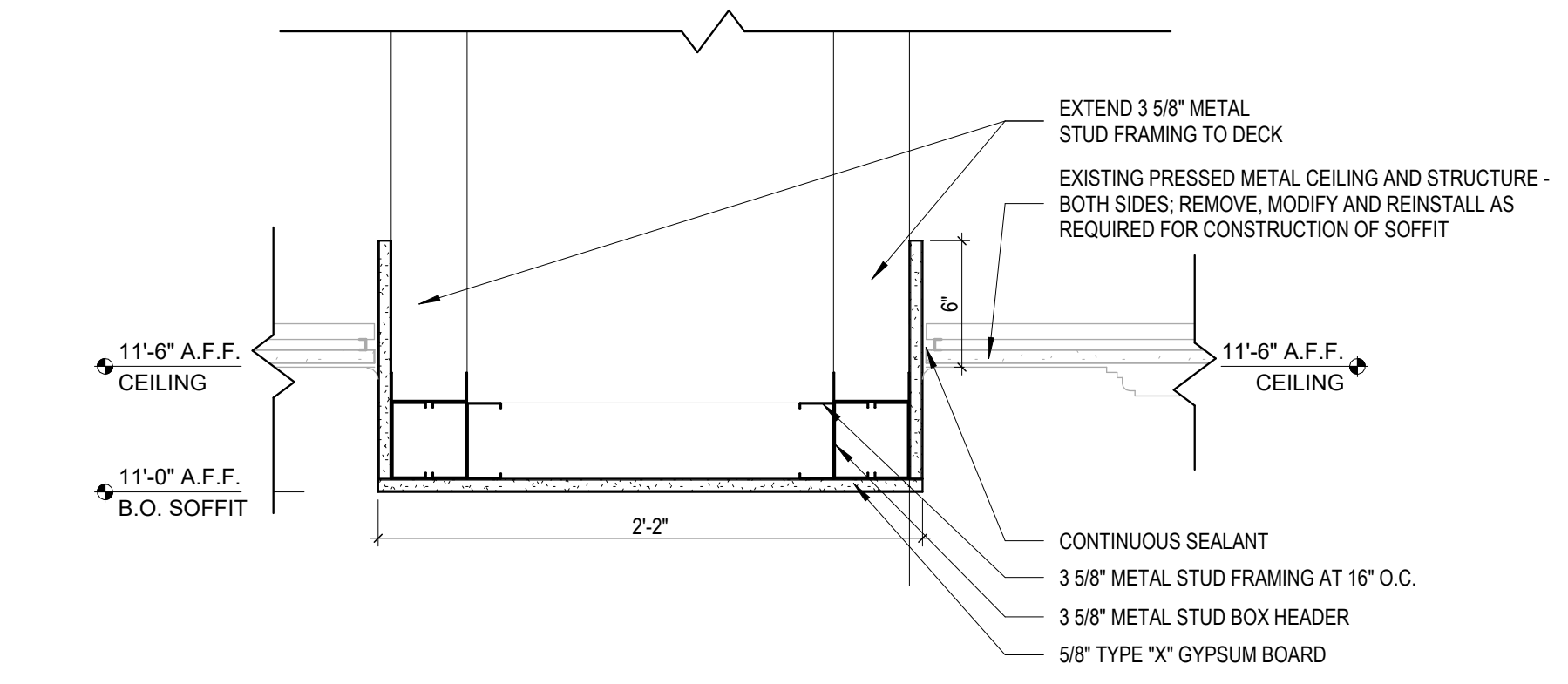
**A101**



1 Main Floor Room Finish Plan  
Scale: 1/8" = 1'-0"



2 Main Floor Reflected Ceiling Plan  
Scale: 1/8" = 1'-0"



3 Soffit Detail  
Scale: 1 1/2" = 1'-0"

ROOM LEGEND	
MAIN FLOOR	
101	VESTIBULE(E)
102	LOBBY(E)
103	STORAGE(E)

ROOM FINISH LEGEND:	
ROOM NUMBER	RM # 101 ROOM
FLOOR FINISH	FLOOR -
NORTH WALL FINISH	BASE -
EAST WALL FINISH	N WALL -
SOUTH WALL FINISH	E WALL -
WEST WALL FINISH	S WALL -
CEILING	W WALL -
REMARKS	CEILING -
	REMARKS -

**ROOM FINISHES:**

**BASE FINISHES**

SB1 - STAINLESS STEEL BASE - SCHLUTER DESIGNBASE-SL-E, 4 3/8" WITH INSIDE AND OUTSIDE CORNERS

**WALL/CEILING FINISHES**

P1 - PAINT - SHERWIN WILLIAMS, COLOR AND FINISH TO MATCH EXISTING (WALL COLOR)

P2 - PAINT - SHERWIN WILLIAMS, COLOR TO MATCH EXISTING RED; FLAT FINISH (CEILING COLOR)

**MISC. FINISHES**

EXIST - EXISTING FINISH TO REMAIN

**LAMINATE:** REFER TO SHEET A801 FOR SPECIFIC LOCATIONS

PL1 - WILSONART, COLOR - SOLANO WALNUT #17018K-67 (PAMPHLET STAND CABINET)

PL2 - WILSONART, COLOR - CUSTOM COLOR X1247-60 (PAMPHLET STAND BACKGROUND); COLOR TO BE CONFIRMED DURING SHOP DRAWING PHASE

**PVC EDGE-BANDING:** REFER TO SHEET A801 FOR SPECIFIC LOCATIONS

PVC1 - DOELLKEN, COLOR - TO MATCH 'PL1'

PVC2 - DOELLKEN, COLOR - TO MATCH 'PL2'

**DOOR/DRAWER PULLS:**

PULL: BRUSHED CHROME FINISH

**FINISH NOTES:**

- INFILL EXISTING OPENING WITH NEW CMU IN THIS ROOM; COLOR TO MATCH EXISTING.
- PAINT NEW SOFFIT IN THIS ROOM 'P2'.
- FINISH ALL GYPSUM BOARD TO A LEVEL 5 FINISH FOR OWNER SUPPLIED SURFACE APPLIED GRAPHIC TO BE INSTALLED AFTER CONSTRUCTION.

**GENERAL NOTES:**

- REFER TO CASEWORK ELEVATIONS AND SECTIONS FOR ADDITIONAL FINISH INFORMATION.
- CAULK TOP OF ALL CORNER GUARDS; COLOR MATCH SEALANT TO CORNER GUARD.
- CAULK ALL VANITY PANELS AND SKIRT PANELS OF CASEWORK AT SEALED CONCRETE; COLOR MATCH SEALANT TO CASEWORK COLOR.

CEILING FINISH LEGEND:	
CEILING TYPE	•
CEILING FINISH	•
CEILING HEIGHT	•
CEILING FINISH NOTES	•

	EXIST - EXISTING PRESSED METAL CEILING		EXISTING PLASTER CEILING
--	--	--	--------------------------

	LIGHTING - REFER TO ELECTRICAL
--	--------------------------------

**CEILING FINISHES:**

EXIST - EXISTING PRESSED METAL CEILING TO REMAIN IN PLACE

P2 - PAINT - SHERWIN WILLIAMS, COLOR TO MATCH EXISTING RED; FLAT FINISH (CEILING COLOR)

**CEILING HEIGHT:**

VAR - VARIES

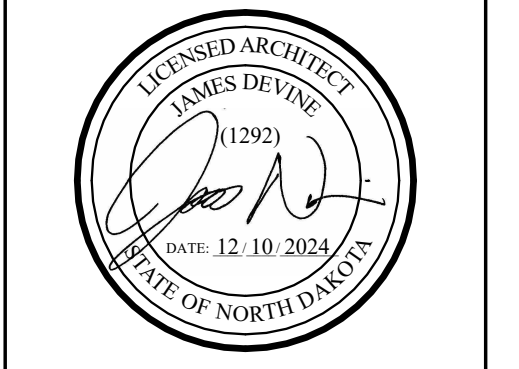
**CEILING FINISH NOTES:**

- REMOVE, MODIFY, AND REINSTALL EXISTING CEILING TILES AND GRID, IN THIS ROOM, AS REQUIRED FOR INSTALLATION OF NEW SOFFIT.
- PAINT NEW SOFFIT IN THIS ROOM 'P2'.

REVISIONS		
MARK	DATE	DESCRIPTION

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**ND Department of Commerce**  
**Apple Creek Rest Area**  
**Renovation**  
Bismarck, ND

**J2 studio**  
architecture + design, pc  
919 South 7th Street, Suite 400  
Bismarck, ND 58504  
(701) 255-1622

**Main Floor Room Finish & Reflected Ceiling Plans and Detail**

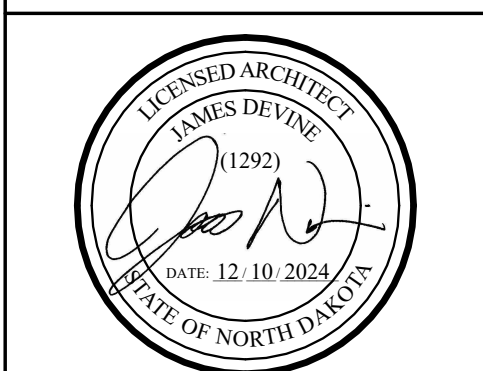
**A501**

REVISIONS		
MARK	DATE	DESCRIPTION

**Contract Documents**

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**ND Department of Commerce**

**Apple Creek Rest Area**

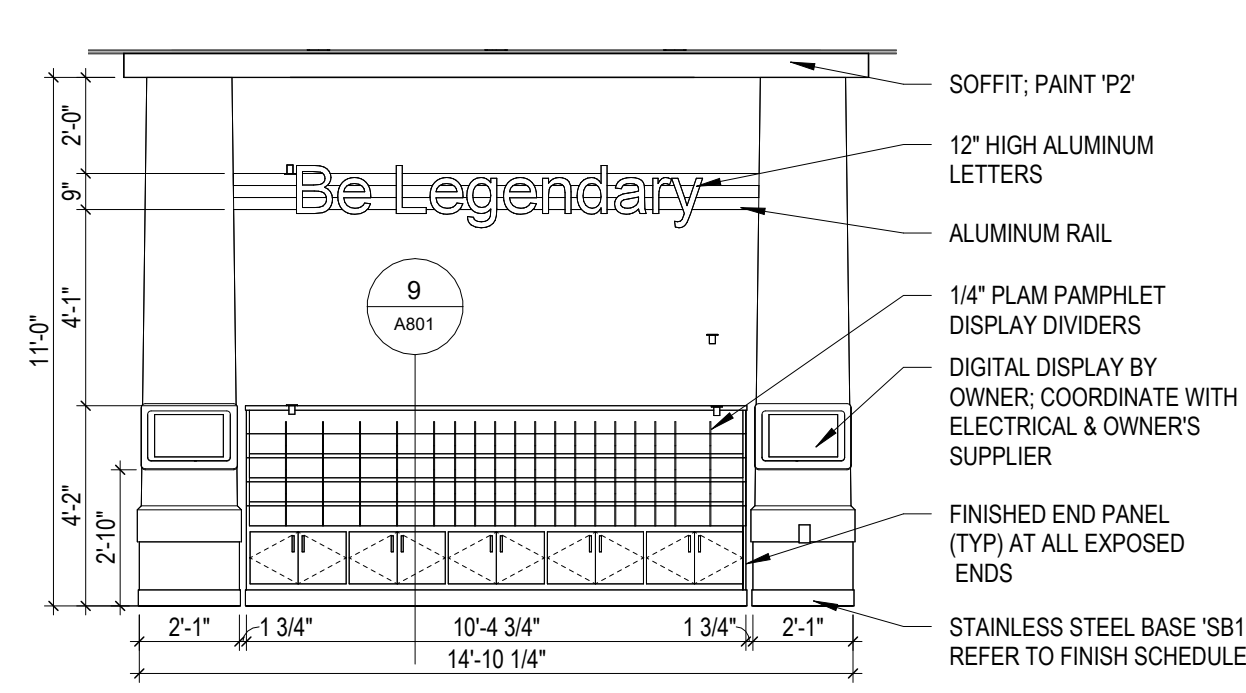
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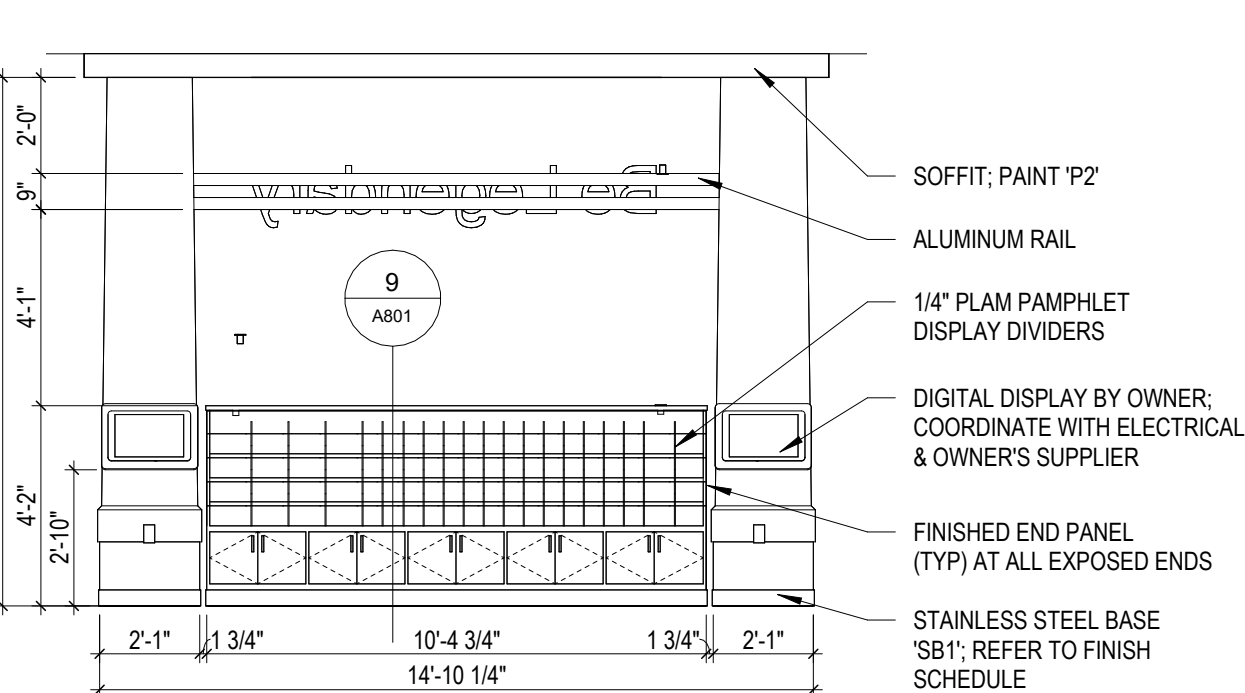
**Interior & Casework Elevations and Section**

**A801**



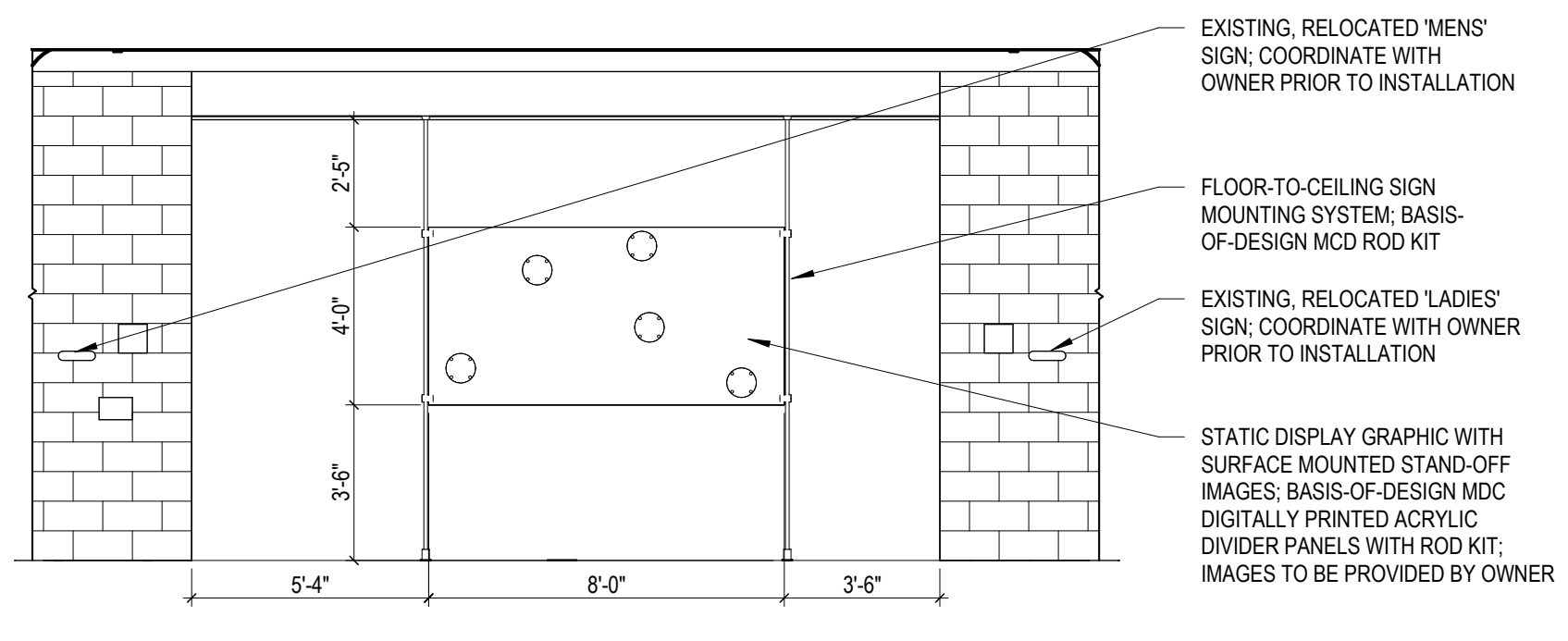
**1 Casework Elevation - Lobby 102**  
Scale: 1/4" = 1'-0"

	COUNTERTOP	CABINET FACE	FINISHED ENDS	OPEN INTERIOR
FINISH	PL1	PL1	PL1	PL2
EDGE BANDING	PVC1	PVC1	PVC1	

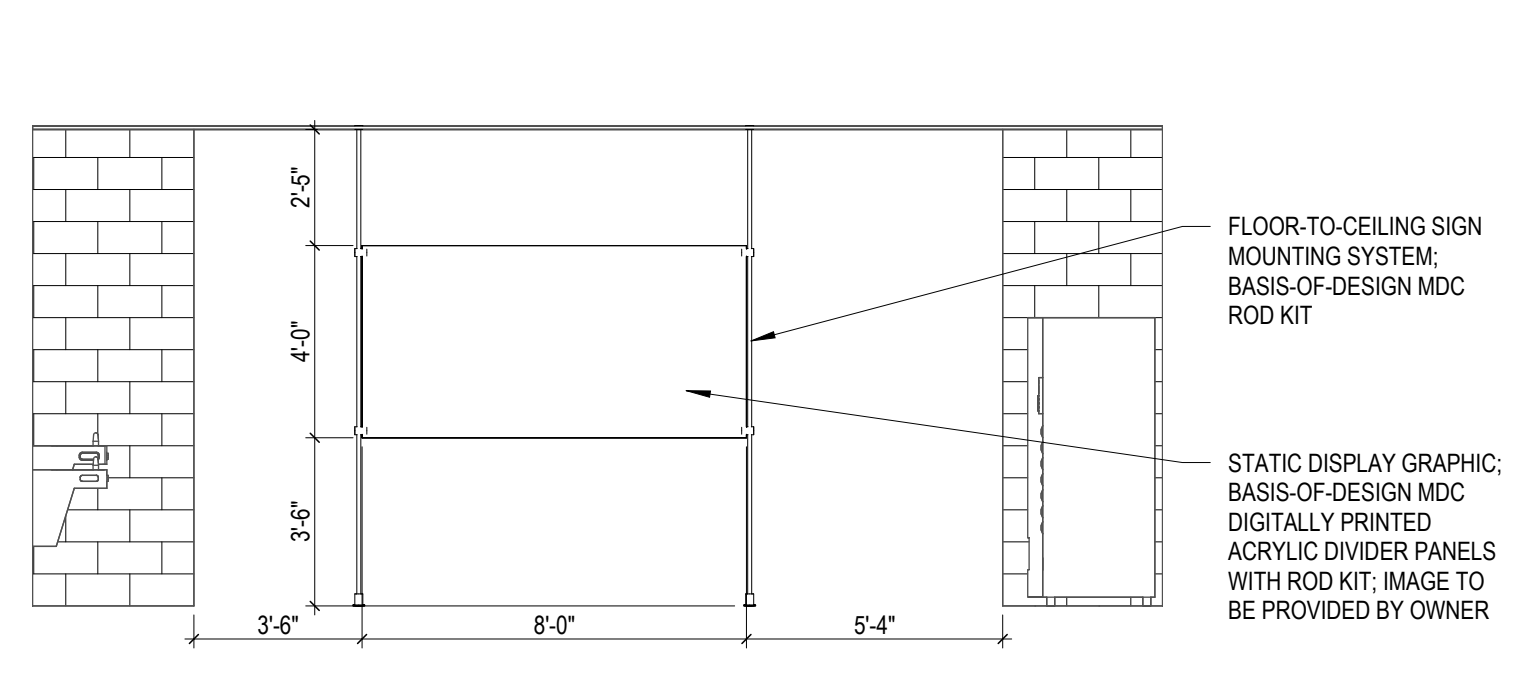


**2 Casework Elevation - Lobby 102**  
Scale: 1/4" = 1'-0"

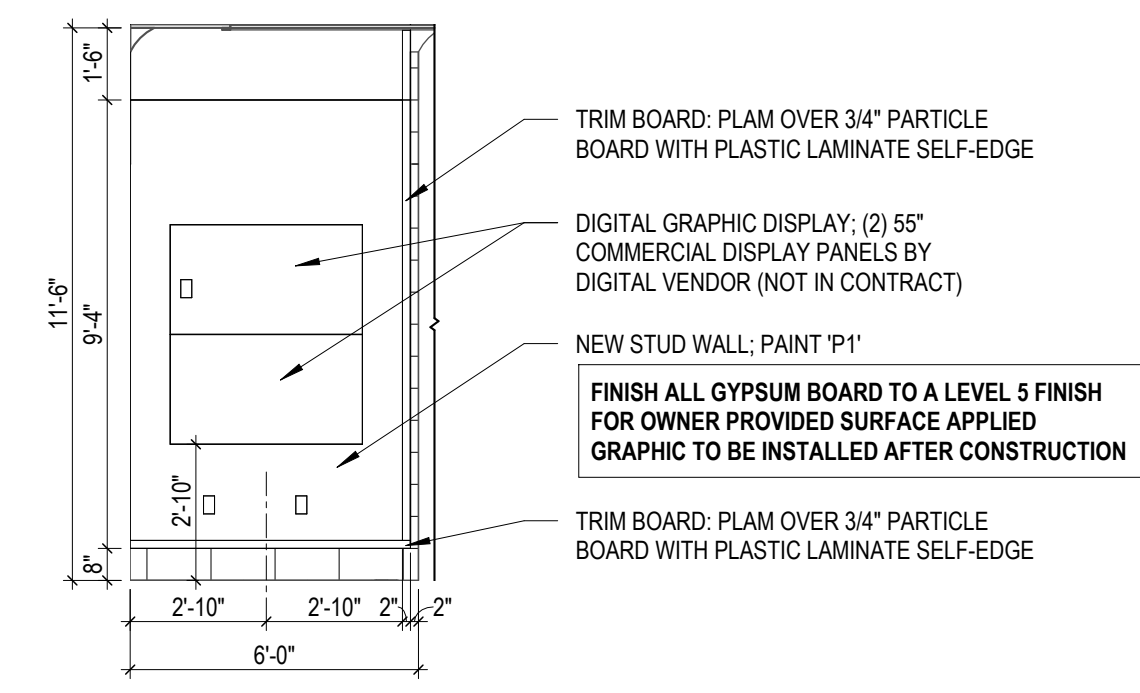
	COUNTERTOP	CABINET FACE	FINISHED ENDS	OPEN INTERIOR
FINISH	PL1	PL1	PL1	PL2
EDGE BANDING	PVC1	PVC1	PVC1	



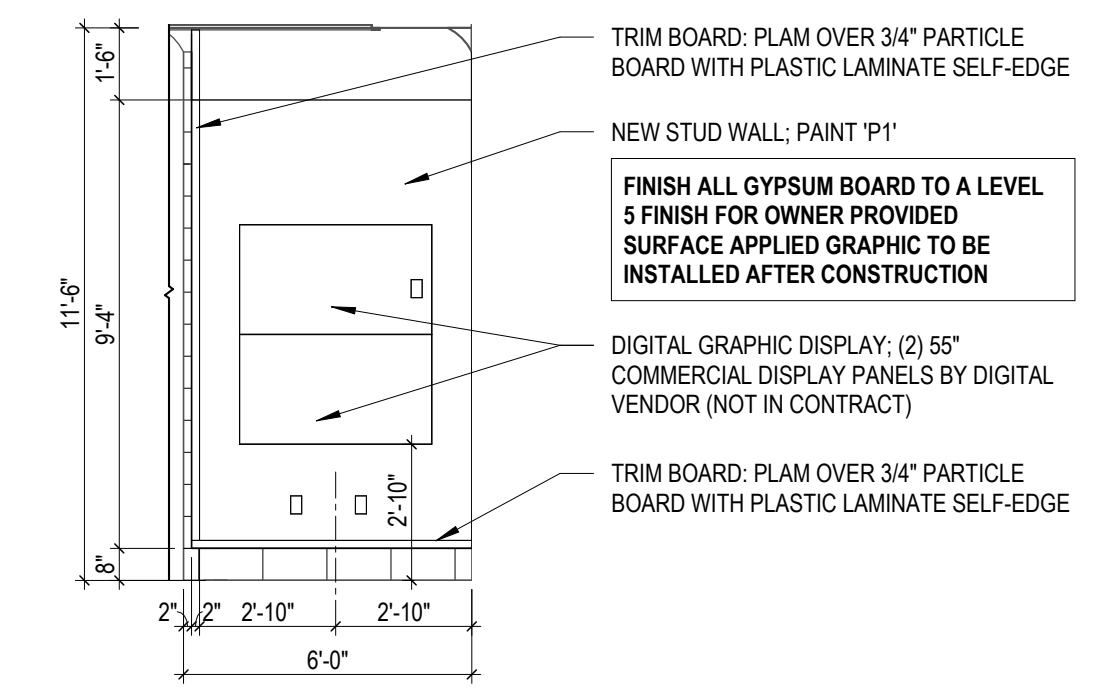
**3 Interior Elevation - Lobby 102**  
Scale: 1/4" = 1'-0"



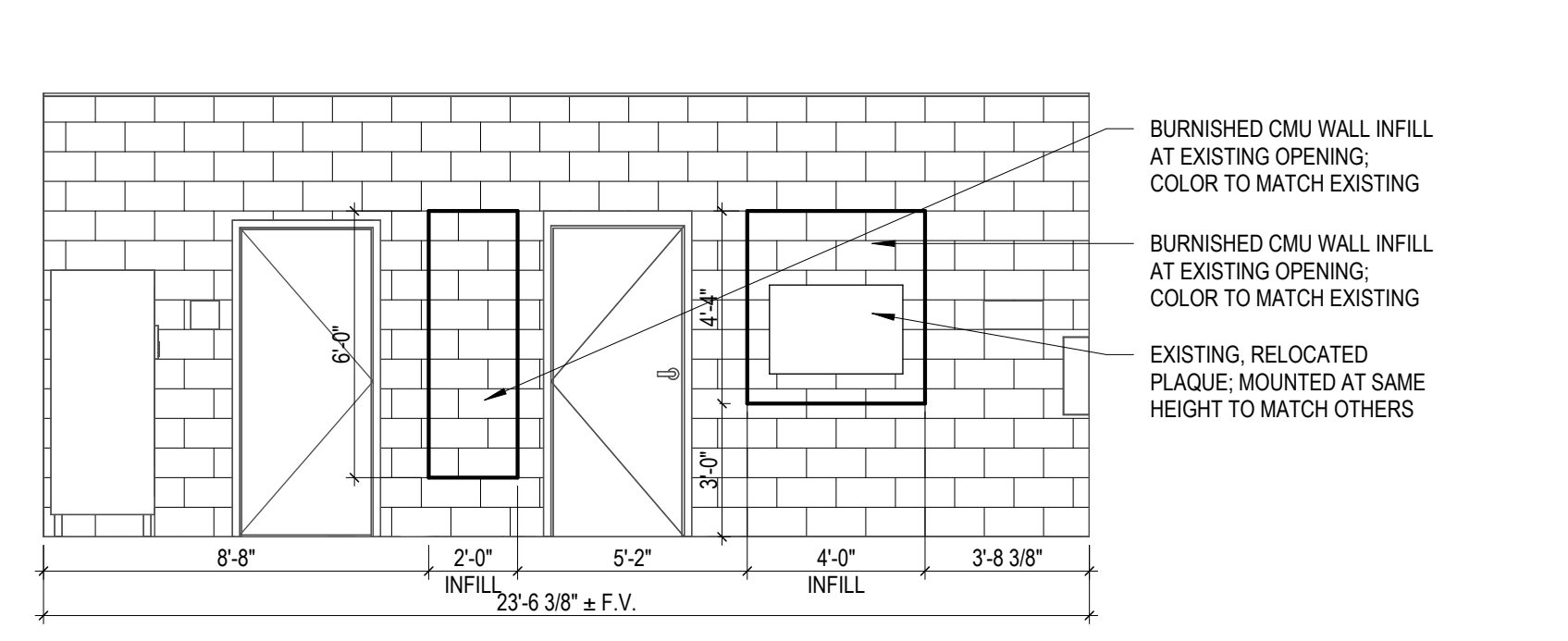
**4 Interior Elevation - Lobby 102**  
Scale: 1/4" = 1'-0"



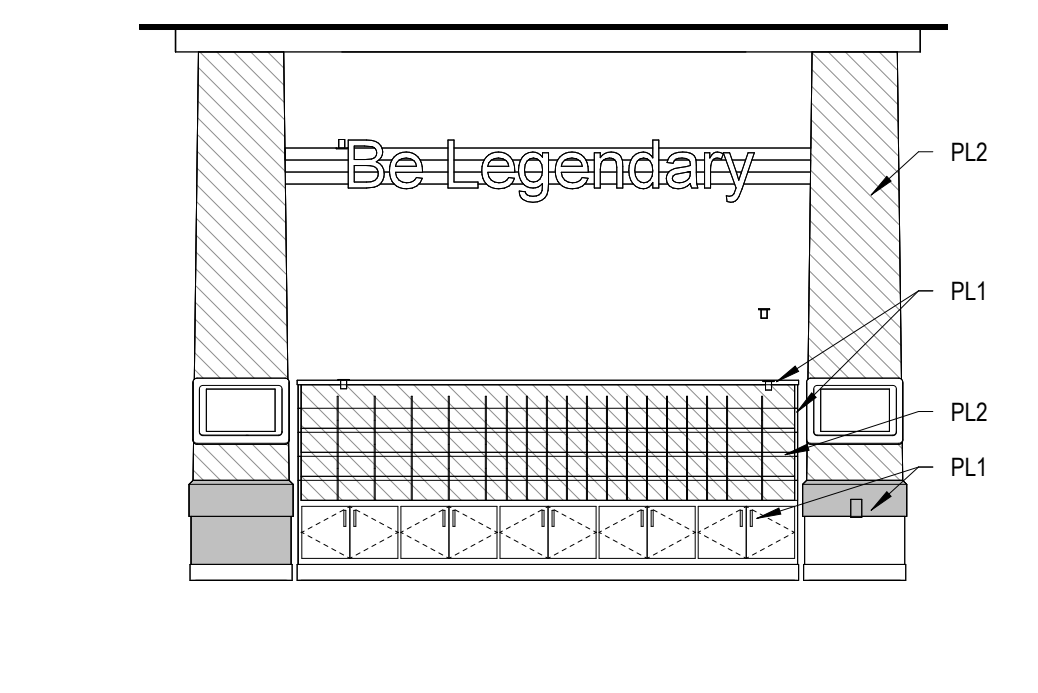
**5 Interior Elevation - Lobby 102**  
Scale: 1/4" = 1'-0"



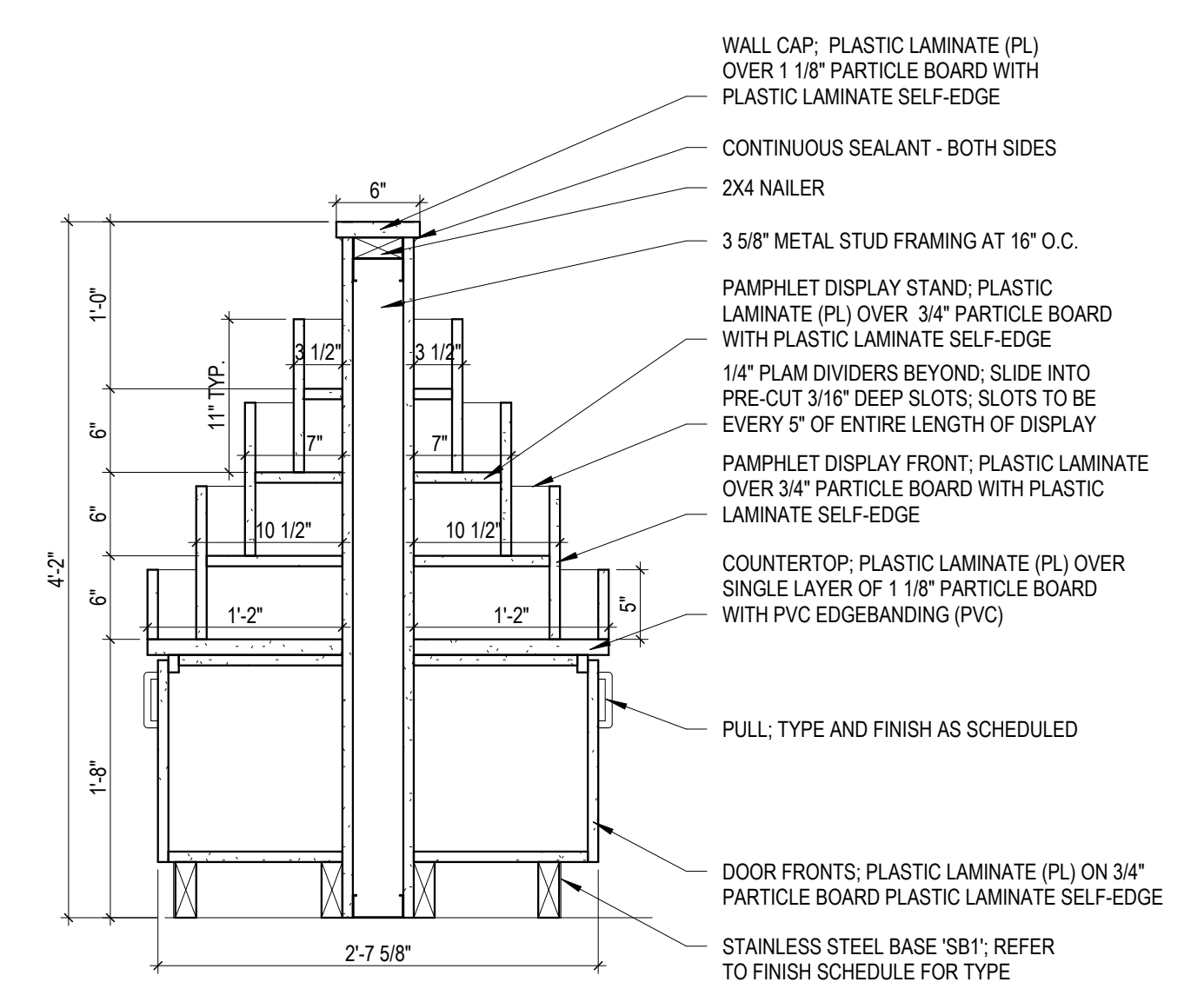
**6 Interior Elevation - Lobby 102**  
Scale: 1/4" = 1'-0"



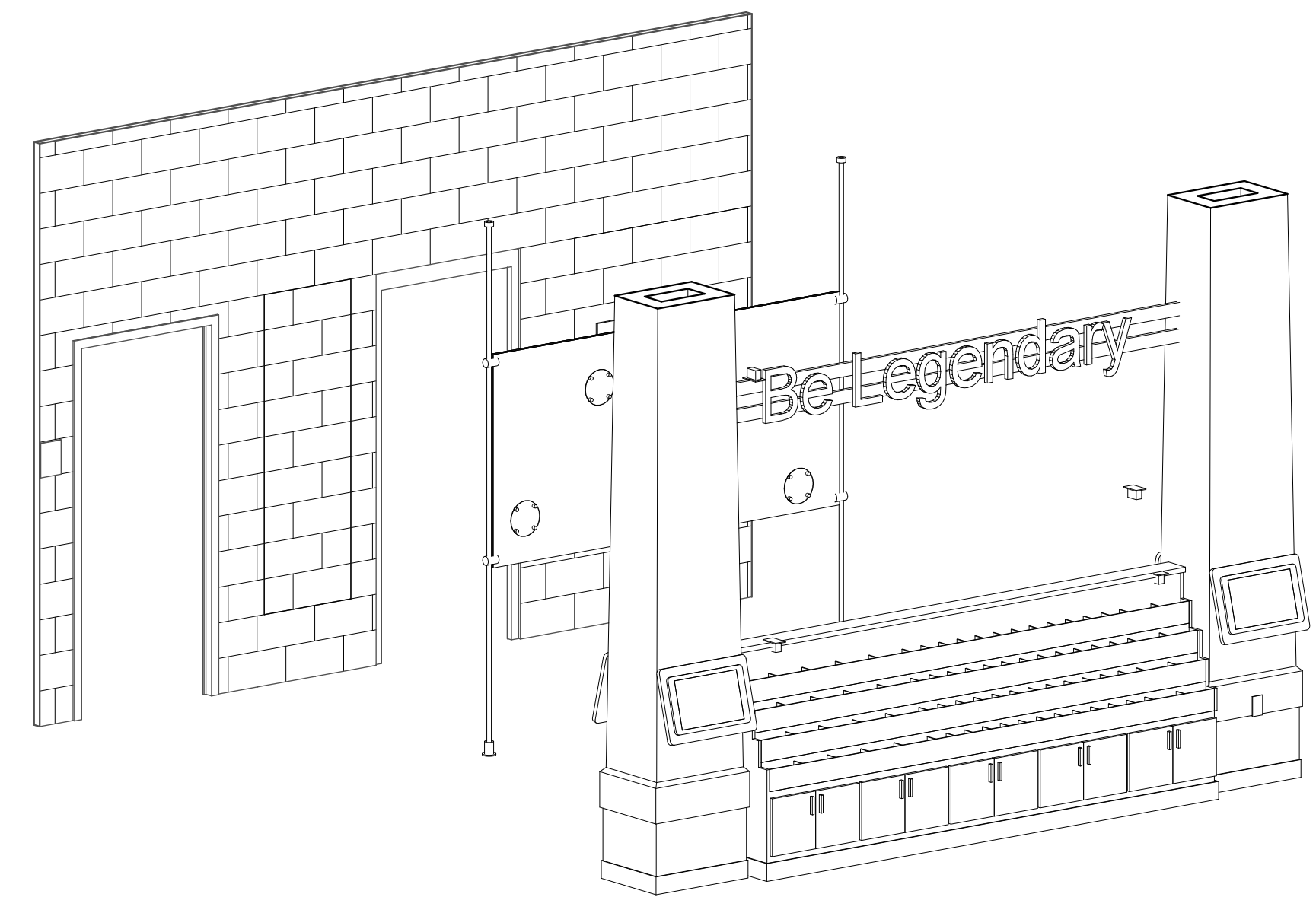
**7 Interior Elevation - Lobby 102**  
Scale: 1/4" = 1'-0"



**8 Casework Elevation - Laminate Colors**  
Scale: 1/4" = 1'-0"



**9 Pamphlet Display Section**  
Scale: 1" = 1'-0"



**10 Axon View - Pamphlet & Graphic Display**  
Not to Scale

ELECTRICAL SYMBOLS LEGEND		
<p><b>LIGHTING</b></p> <p>2x4" RECESSED LUMINAIRE</p> <p>2x2" RECESSED LUMINAIRE</p> <p>1x4" RECESSED LUMINAIRE</p> <p>2x4" RECESSED LUMINAIRE CONNECTED TO EMERGENCY POWER SOURCE</p> <p>WALL MOUNTED LUMINAIRE</p> <p>CEILING MOUNTED LUMINAIRE</p> <p>RECESSED DOWNLIGHT</p> <p>SURFACE CEILING MOUNTED LUMINAIRE</p> <p>SURFACE WALL MOUNTED LUMINAIRE</p> <p>EXTERIOR AREA LUMINAIRE</p> <p>EXIT SIGN</p> <p>EMERGENCY BATTERY UNIT</p> <p>REMOTE EMERGENCY HEAD</p> <p>EMERGENCY LIGHTING RELAY</p> <p><b>CIRCUITRY</b></p> <p>CEILING MOUNTED JUNCTION BOX</p> <p>WALL MOUNTED JUNCTION BOX</p> <p>FIRE ALARM CIRCUITRY, 3/4" CONDUIT WITH 4#14 AWG FOR ANNUNCIATION AND 1-"A CABLE" (2c.#18) INITIATING.</p> <p>POWER CIRCUITRY, 3/4" CONDUIT WITH 6#12 AWG CURRENT CARRYING CONDUCTORS. EGC IS NOT SHOWN FOR CLARITY.</p> <p><b>CONTROL</b></p> <p>SINGLE POLE SWITCH</p> <p>LIGHTING SWITCH - (NUMBER/LETTER DESIGNATES TYPE; 2 = 2-POLE, 3 = 3-WAY, 4 = 4-WAY, O = OCC SENSOR)</p> <p>LOW VOLTAGE SWITCH</p> <p>DMX CONTROLLER</p> <p>SINGLE POLE DIMMER</p> <p>DIMMER SWITCH - (NUMBER/LETTER DESIGNATES TYPE; 3 = 3-WAY, 4 = 4-WAY, O = OCC SENSOR)</p> <p>GENERAL PURPOSE RELAY; NUMBER INDICATES NUMBER OF POLES.</p> <p>DEFINITE PURPOSE CONTACTOR; NUMBER INDICATES NUMBER OF POLES.</p> <p>CEILING MOUNTED OCCUPANCY SENSOR</p> <p>THERMOSTAT - "E" = PROVIDED BY DIVISION 16 CONTRACTORS; OTHERWISE FURNISHED BY THE DIVISION 15 CONTRACTOR.</p> <p>PHOTO CONTROLLER</p> <p>DIMMING/POWER RELAY PACK</p>	<p><b>POWER DISTRIBUTION</b></p> <p>DUPLEX RECEPTACLE ("WP" = WEATHERPROOF, "IG" = ISOLATED GROUND)</p> <p>DUPLEX GFCI RECEPTACLE</p> <p>QUAD RECEPTACLE - CAN BE USED WITH OTHER TYPES</p> <p>SPECIAL PURPOSE RECEPTACLE</p> <p>SPECIAL CONNECTION - REFER TO EQUIPMENT SCHEDULE</p> <p>PANELBOARD</p> <p>FLOORBOX</p> <p>CEILING MOUNTED CORD DROP</p> <p>BASEBOARD HEATER - REFER TO SCHEDULE</p> <p>ELECTRIC HEATER - REFER TO SCHEDULE</p> <p>SAFETY DISCONNECT - "F" = FUSIBLE</p> <p>PUSH BUTTON</p> <p>MANUAL MOTOR CONTROLLER</p> <p>COMBINATION MOTOR CONTROLLER</p> <p>MOTOR - REFER TO SCHEDULE</p> <p>OVERHEAD DOOR PUSH BUTTON</p> <p><b>FIRE ALARM</b></p> <p>CONTROL CABINET</p> <p>CEILING MOUNTED DETECTOR - "P" = PHOTOELECTRIC; "CO" = CARBON MONOXIDE</p> <p>CEILING MOUNTED RATE OF RISE DETECTOR</p> <p>CEILING MOUNTED FIXED TEMPERATURE DETECTOR</p> <p>DUCT MOUNTED DETECTOR - "P" = PHOTOELECTRIC; "I" = IONIZATION</p> <p>MANUAL PULL STATION</p> <p>EXTERIOR BELL</p> <p>HORN/STROBE</p> <p>SPEAKER/STROBE - "CM" = CEILING MOUNT</p> <p>CHIME/STROBE - "CM" = CEILING MOUNT</p> <p>STROBE LIGHT</p> <p>MAGNETIC DOOR HOLDER</p> <p>FAN SHUT DOWN RELAY</p> <p>INDIVIDUALLY ADDRESSABLE INPUT MODULE</p> <p>INDIVIDUALLY ADDRESSABLE RELAY MODULE</p> <p>FLOW SWITCH: FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR - WIRED BY ELECTRICAL CONTRACTOR</p> <p>TAMPER SWITCH: FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR - WIRED BY ELECTRICAL CONTRACTOR</p> <p>FIRE/SMOKE DAMPER: FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR - WIRED BY ELECTRICAL CONTRACTOR</p>	<p><b>COMMUNICATIONS SYSTEMS</b></p> <p>WALL MOUNTED CABINET</p> <p>EQUIPMENT RACK</p> <p>VIDEO SURVEILLANCE CAMERA</p> <p>CARD READER</p> <p>CLOCK</p> <p>WALL MOUNTED SPEAKER</p> <p>CEILING SPEAKER</p> <p>VOLUME CONTROLLER</p> <p>MICROPHONE INPUT</p> <p>AUXILIARY INPUT</p> <p>AUDIO/VIDEO INPUT (HDMI)</p> <p>TELECOMMUNICATIONS OUTLET</p> <p>TELEVISION OUTLET</p> <p>WIRELESS ACCESS POINT</p> <p>TELEMETRY UNIT</p> <p><b>NURSE CALL SYSTEMS</b></p> <p>NURSE CALL SYSTEM CABINET</p> <p>NURSE CALL REMOTE ANNUNCIATOR</p> <p>ZONE LIGHT - WALL MOUNT AT 80" A.F.F. OR CEILING MOUNT AS DIRECTED.</p> <p>CORRIDOR LIGHT - WALL MOUNT AT 80" A.F.F. OR CEILING MOUNT AS DIRECTED.</p> <p>NURSE CALL STATION - WALL MOUNT AT 46" A.F.F. OR AS DIRECTED; "B" = CODE BLUE</p> <p>"B" = BED INTERFACE</p> <p>"OP" = CODE PINK</p> <p>"D" = DUTY STATION</p> <p>"I" = INDICATOR</p> <p>"L" = LOCATOR (STATUS) STATION</p> <p>"MS" = MASTER STATION</p> <p>"O" = OPTICAL INTERFACE JACK</p> <p>"P" = PATIENT STATION</p> <p>"S" = STAFF ASSIST - CALL STATION</p> <p>"T" = TOILET STATION</p> <p>"TV" = TELEVISION INTERFACE</p> <p><b>ABBREVIATIONS</b></p> <p>E.C. = ELECTRICAL CONTRACTOR</p> <p>M.C. = MECHANICAL CONTRACTOR</p> <p>G.C. = GENERAL CONTRACTOR</p> <p>AC = MOUNT 4" ABOVE BACKSPLASH (VERIFY HEIGHT)</p> <p>BC = MOUNT BELOW COUNTER AT STANDARD MOUNTING HEIGHT</p> <p>UC = MOUNT IN UPPER CABINET (VERIFY LOCATION)</p> <p>MW = MICROWAVE - MOUNT IN SPACE BEHIND MICROWAVE LOCATION</p> <p>RF = REFRIGERATOR - SEE SCHEDULE</p> <p>VM = VENDING MACHINE - SEE SCHEDULE</p>

**DEMOLITION NOTES:**

ON THE ELECTRICAL PLAN SHEETS, ITEMS SHOWN AS DASHED ARE EXISTING TO BE REMOVED, ITEMS SHOWN AS THIN SOLID LINES ARE EXISTING TO REMAIN. CONTRACTOR SHALL VERIFY ALL ELECTRICAL EQUIPMENT SCHEDULED FOR REMOVAL WITH THE OWNER. IF OWNER DETERMINES THEY WANT TO KEEP ITEMS, CONTRACTOR SHALL ASSIST IN PALLETIZING AND LOADING. OWNER WILL TRANSPORT FROM PROJECT SITE.

DEMOLITION      EXISTING TO REMAIN      NEW

**PROJECT POINT OF CONTACT**

JOHN KLEIN

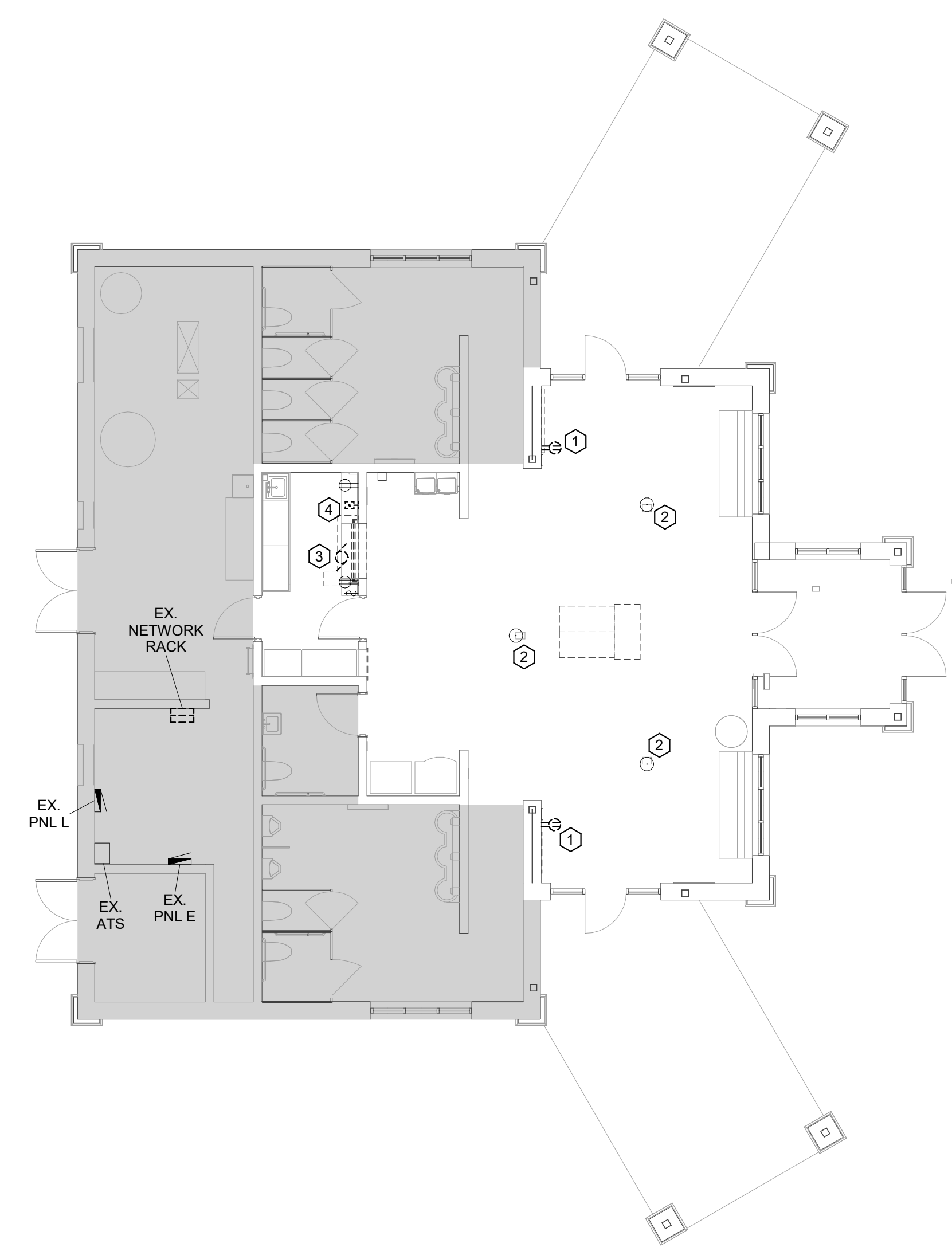
APEX ENGINEERING GROUP  
600 S 2ND STREET, SUITE 145  
BISMARCK, ND 58504  
PH: 701-323-3961  
john.klein@apexenggroup.com

**Apex**  
Engineering Group

**PROJECT GENERAL NOTES:**

THE EXISTING CONDITIONS HAVE BEEN VERIFIED BASED ON THE OWNER'S ASSISTANCE, CASUAL ON-SITE OBSERVATION, AND THE EXISTING PROJECT DRAWINGS.

THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO BIDDING AND STARTING OF ANY WORK. STARTING OF ANY WORK MEANS THE CONTRACTOR ACCEPTS THE EXISTING CONDITIONS AND UNDERSTANDS THE SCOPE OF THE PROJECT. NO ADDITIONAL COMPENSATION WILL BE GIVEN FOR THE CONTRACTOR'S LACK OF UNDERSTANDING OF THE EXISTING BUILDING CONDITIONS. IF A DISCREPANCY SHOULD EXIST THE CONTRACTOR SHALL BRING IT TO THE ATTENTION OF THE ENGINEER/OWNER FOR A DECISION. CONTRACTOR SHALL COORDINATE ALL PARTIAL/FULL SYSTEM OUTAGES WITH THE OWNER AND ENGINEER 48 HOURS BEFORE STARTING WORK ON THE SYSTEM.



**1 ELECTRICAL DEMOLITION PLAN**  
Scale: 1/8" = 1'-0"

- DEMOLITION NOTES:**
- EXISTING RECEPTACLE WITHIN BLOCK WALL. E.C. TO REMOVE ENOUGH BRICK FROM ONE SIDE TO ALLOW FOR FLEX CONDUIT TO BE EXTENDED TO NEW RECEPTACLES IN FURRED OUT WALL.
  - EXISTING FLOOR BOXES TO REMAIN.
  - DISCONNECT EXISTING COILING DOOR FOR REMOVAL.
  - REMOVE PUSHBUTTON FOR COILING DOOR. PROVIDE STAINLESS STEEL BLANK.

REVISIONS		
MARK	DATE	DESCRIPTION

**Contract Documents**

December 10, 2024  
J2 Project No. J22401



**ND Department of Commerce  
Apple Creek Rest Area  
Renovation  
Bismarck, ND**



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**SYMBOLS & DEMOLITION PLAN**

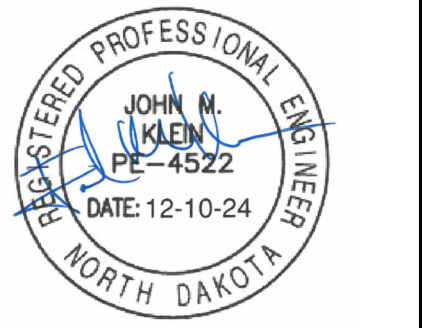
**E101**



REVISIONS		
MARK	DATE	DESCRIPTION

**Contract Documents**

December 10, 2024  
J2 Project No. J22401



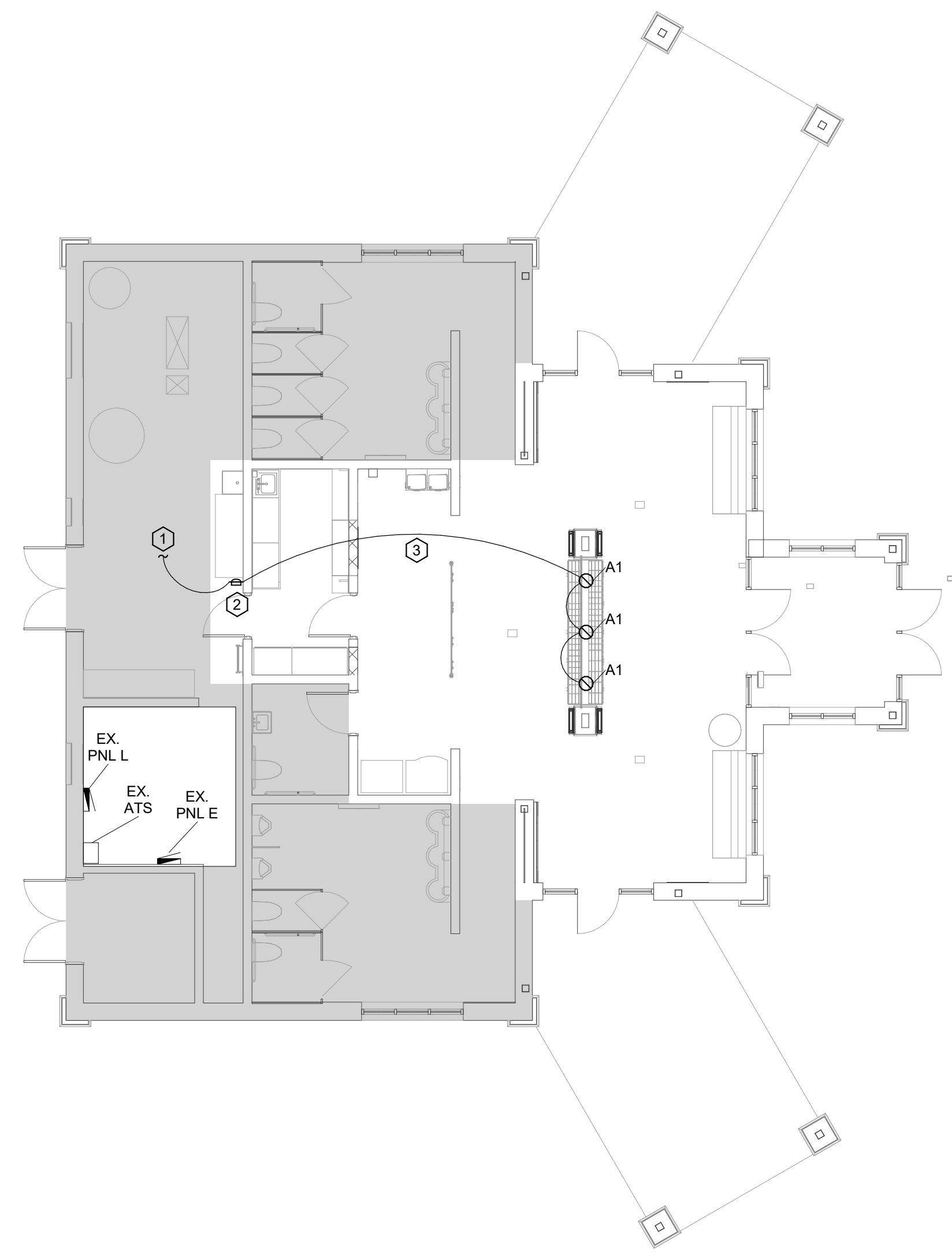
**ND Department of Commerce  
Apple Creek Rest Area  
Renovation  
Bismarck, ND**



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**ELECTRICAL PLANS**

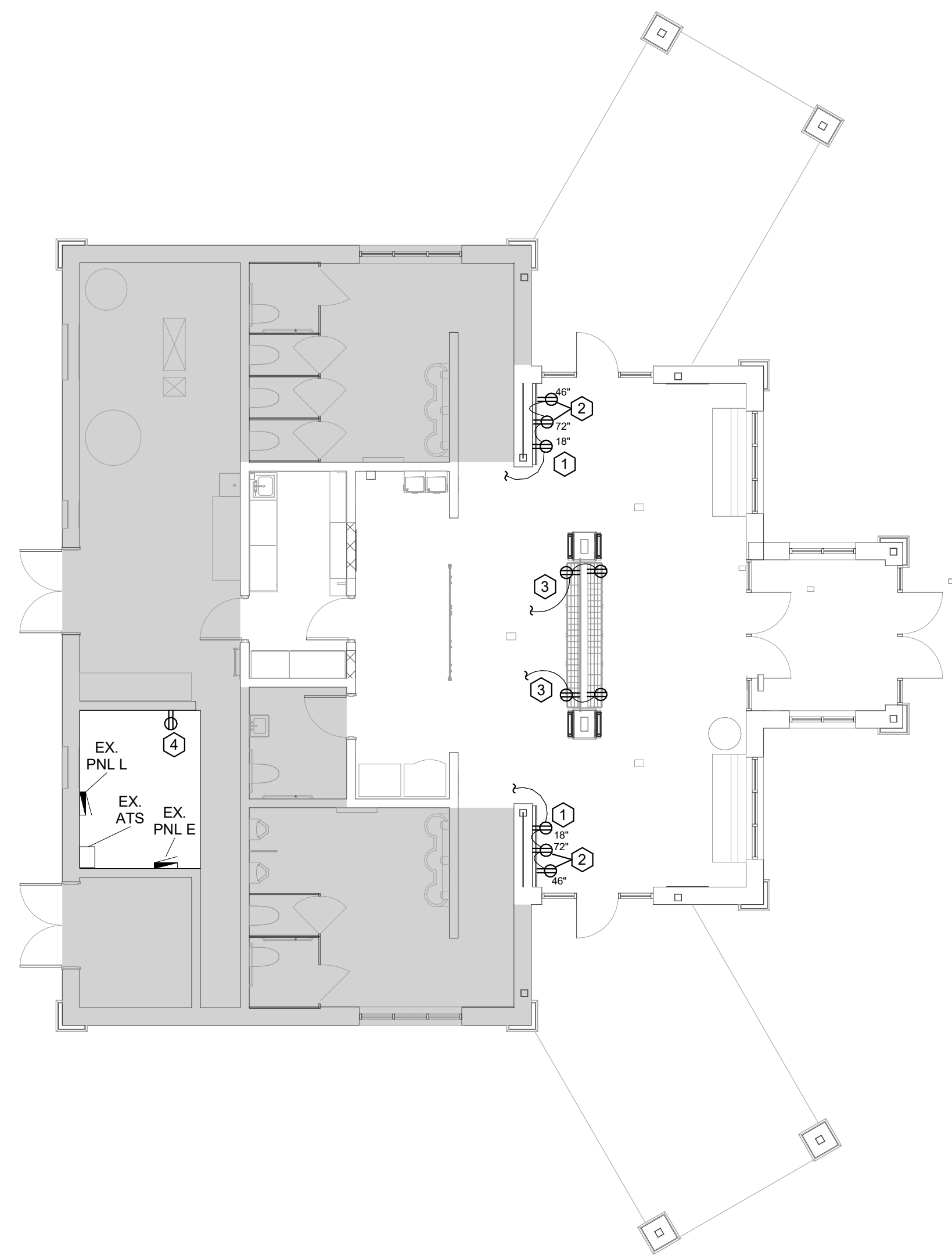
**E102**



**1 LIGHTING PLAN**  
Scale: 1/8" = 1'-0"

**LIGHTING NOTES:**

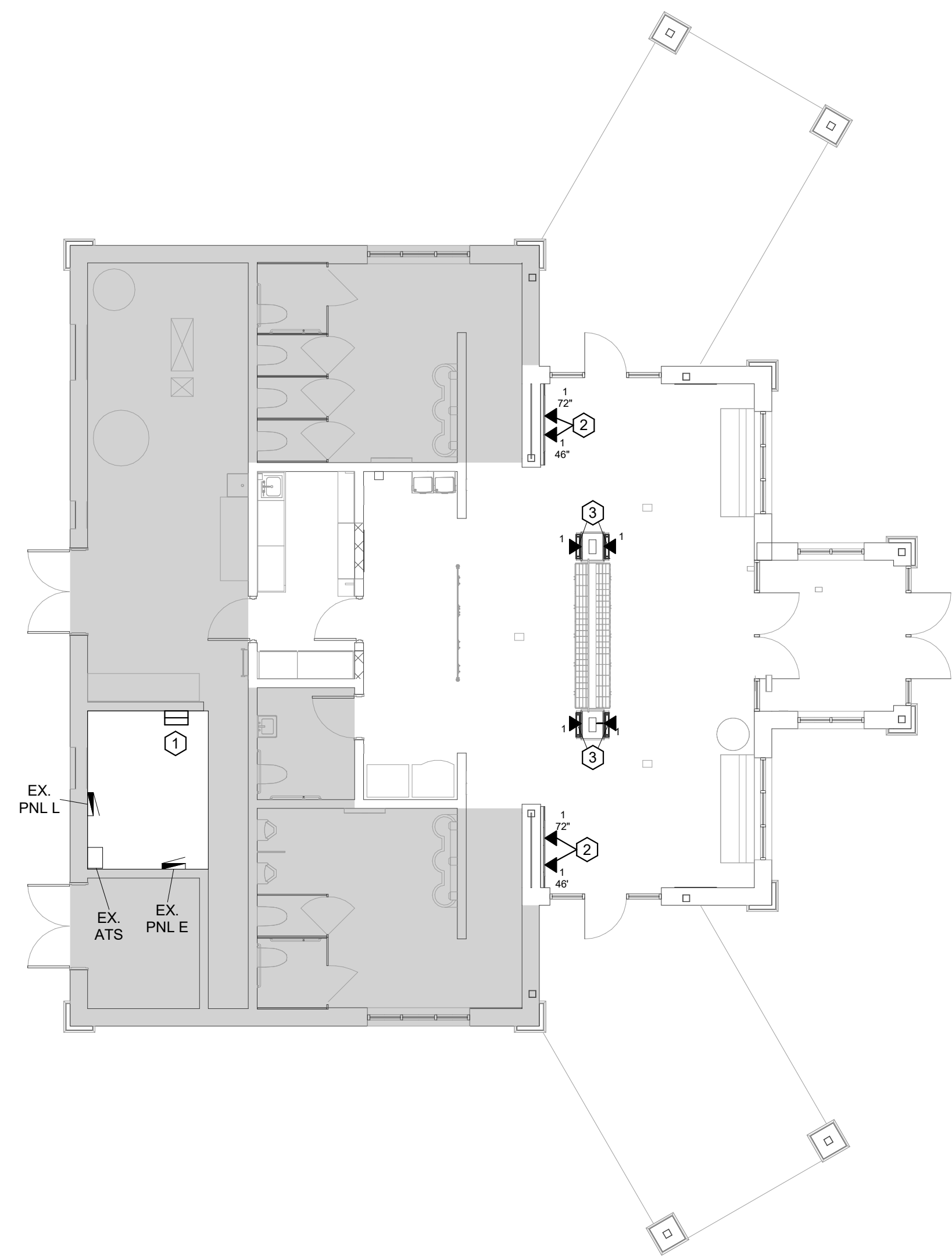
- 1 EXTEND NEW CIRCUITRY TO EXISTING MECHANICAL ROOM LIGHTING CIRCUIT.
- 2 MOUNT NEW 0-10V DIMMER IN MECHANICAL ROOM.
- 3 FISH CIRCUITRY ABOVE HARD CEILING VIA THE ATTIC (JOIST) SPACE.



**2 POWER PLAN**  
Scale: 1/8" = 1'-0"

**POWER NOTES:**

- 1 INSTALL NEW DUPLEX RECEPTACLE AT 18" A.F.F., FLUSH MOUNT IN NEW WALL.
- 2 INSTALL NEW RECEPTACLES AT HEIGHT SHOWN (VERIFY). FLUSH MOUNT IN NEW WALL.
- 3 PROVIDE NEW DUPLEX RECEPTACLE IN THE BASE CABINET OF THE PAMPHLET STATION. EXTEND CIRCUITRY BACK TO THE MECHANICAL ROOM AND CONNECT TO UNSWITCHED 120-VOLT SOURCE OF ADEQUATE CAPACITY. EXTEND 1/2" CONDUIT (TYPICAL OF FOUR) FROM THE BASE CABINET TO THE BACK OF EACH TOUCH SCREEN FOR LOW VOLTAGE POWER CONNECTION. TERMINATE EACH END OF THE CONDUIT WITH A NYLON BUSHING.
- 4 PROVIDE NEW RECEPTACLE AT NEW NETWORK RACK. CONNECT TO EXISTING QUAD-PLEX RECEPTACLE BELOW. FIELD VERIFY EXACT SCOPE.



**3 SYSTEMS PLAN**  
Scale: 1/8" = 1'-0"

**SYSTEMS NOTES:**

- 1 PROVIDE NEW WALL MOUNTED NETWORK RACK. SEE SECTION 27 1005.
- 2 FLUSH MOUNT NETWORK OUTLET IN NEW WALL SYSTEM. EXTEND 1/2" CONDUIT CONTINUOUS TO NETWORK PATCH PANEL.
- 3 PROVIDE 1/2" CONDUIT CONTINUOUS FROM EACH TOUCH SCREEN TO NETWORK PATCH PANEL. TERMINATE DISPLAY END WITH MALE RJ-45. DO NOT INSTALL OUTLET BOX.

**LIGHT FIXTURE SCHEDULE**

TYPE	MANUFACTURER CATALOG INFORMATION	LED DATA		LED DRIVER DATA		INPUT WATTS	VOLTAGE	MOUNTING	FITTURE DESCRIPTION
		COLOR TEMP	LUMEN OUTPUT	NO.	TYPE				
A1	LITHONIA No. LDN4 40/10 LO4 XX LD MULTI EZ1 OR EQUAL BY ELITE LIGHTING, OR HALO COMMERCIAL.	4000K	1000	1	ELECTRONIC 1% DIMMING DRIVER	11	120/277	RECESSED	4" RECESSED LED DOWNLIGHT, 1000 DELIVERED LUMENS AND 3500K COLOR TEMPERATURE. MATTE-DIFFUSE REFLECTOR WITH TRIM COLOR BY ARCHITECT. WIDE SPACING. GALVANIZED STEEL MOUNTING FRAME. WET LOCATION LISTED. ELECTRONIC 1-PERCENT DIMMING DRIVER. L-70 TESTED AT 50,000 HOURS. FULL FIVE YEAR WARRANTY.