

OPPORTUNITY FOUNDATION, INC.

GROUP HOMES REMODEL

526 RECLAMATION DRIVE & 7018th STREET EAST

WILLISTON, NORTH DAKOTA 58801



Architecture	Engineering	Industrial
Wind Energy	Interior Design	Construction

TELE 701.572-6759
313 Main Street Suite 200 Williston, ND 58801

Grand Forks ND Fargo ND Bismarck ND
Williston ND Minot ND Norwich VT
Bemidji MN Biere Alres ARG Sioux Falls SD
St. Paul MN Fort Collins CO Phoenix AZ

www.eapc.net

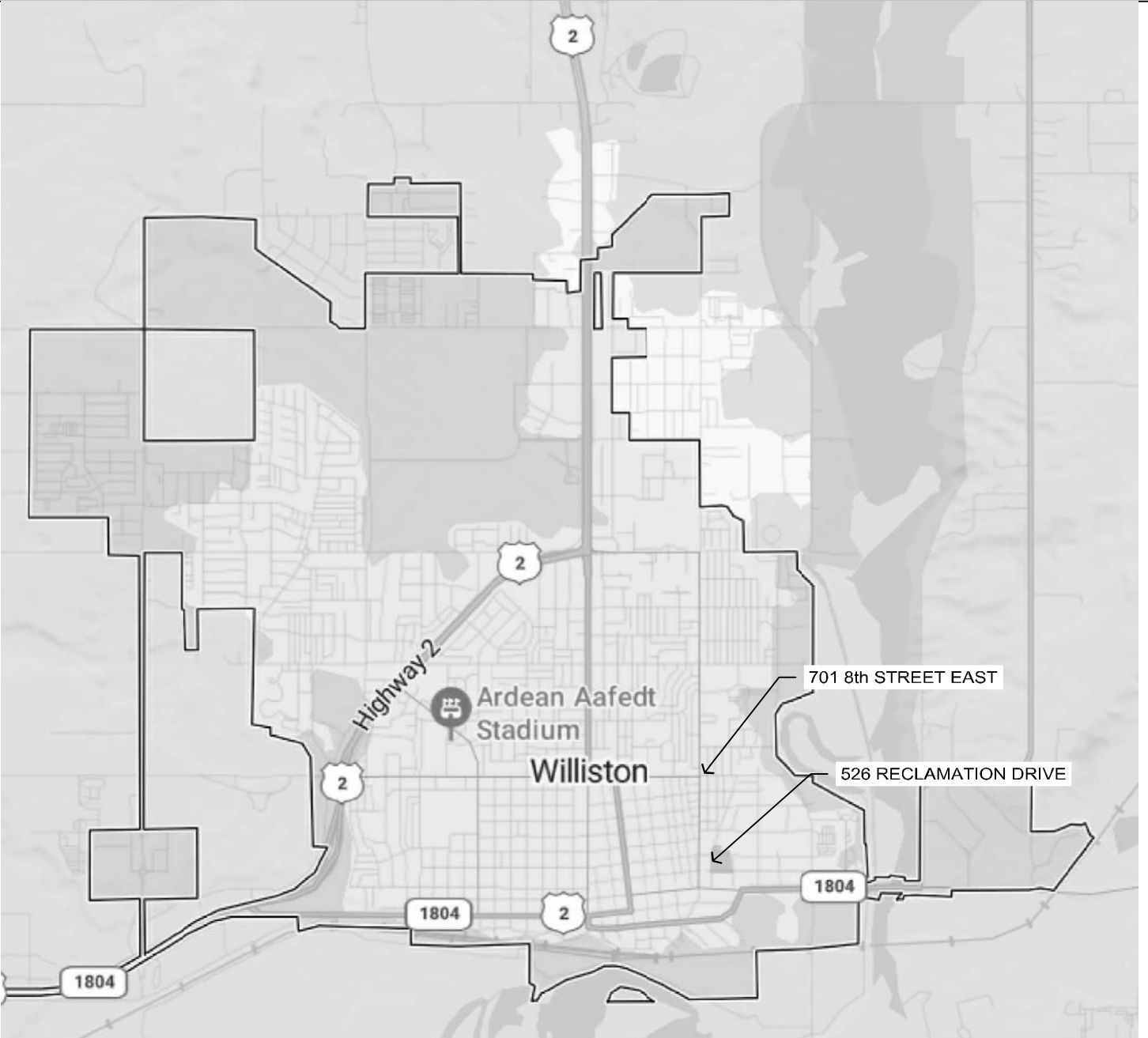
- GENERAL**
- G001 COVER SHEET
 - G101 CODE PLAN
- ARCHITECTURAL**
- A001 GENERAL ARCHITECTURAL INFORMATION
 - A201 FIRST AND MEZZANINE FLOOR PLAN
 - A301 REFLECTED CEILING PLAN
 - A401 BUILDING ELEVATIONS
 - A411 BUILDING SECTIONS
 - A412 BUILDING SECTIONS
 - A413 WALL SECTIONS
 - A501 ENLARGED FLOOR PLANS / INTERIOR ELEVATIONS
 - A502 ENLARGED FLOOR PLANS / INTERIOR ELEVATIONS
 - A801 DETAILS

- PLUMBING & MECHANICAL**
- PM01 MECHANICAL SYMBOLS & LEGEND SHEET

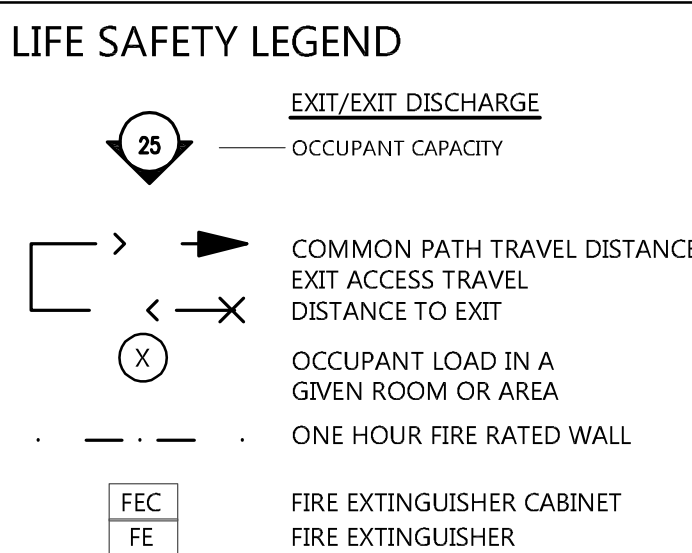
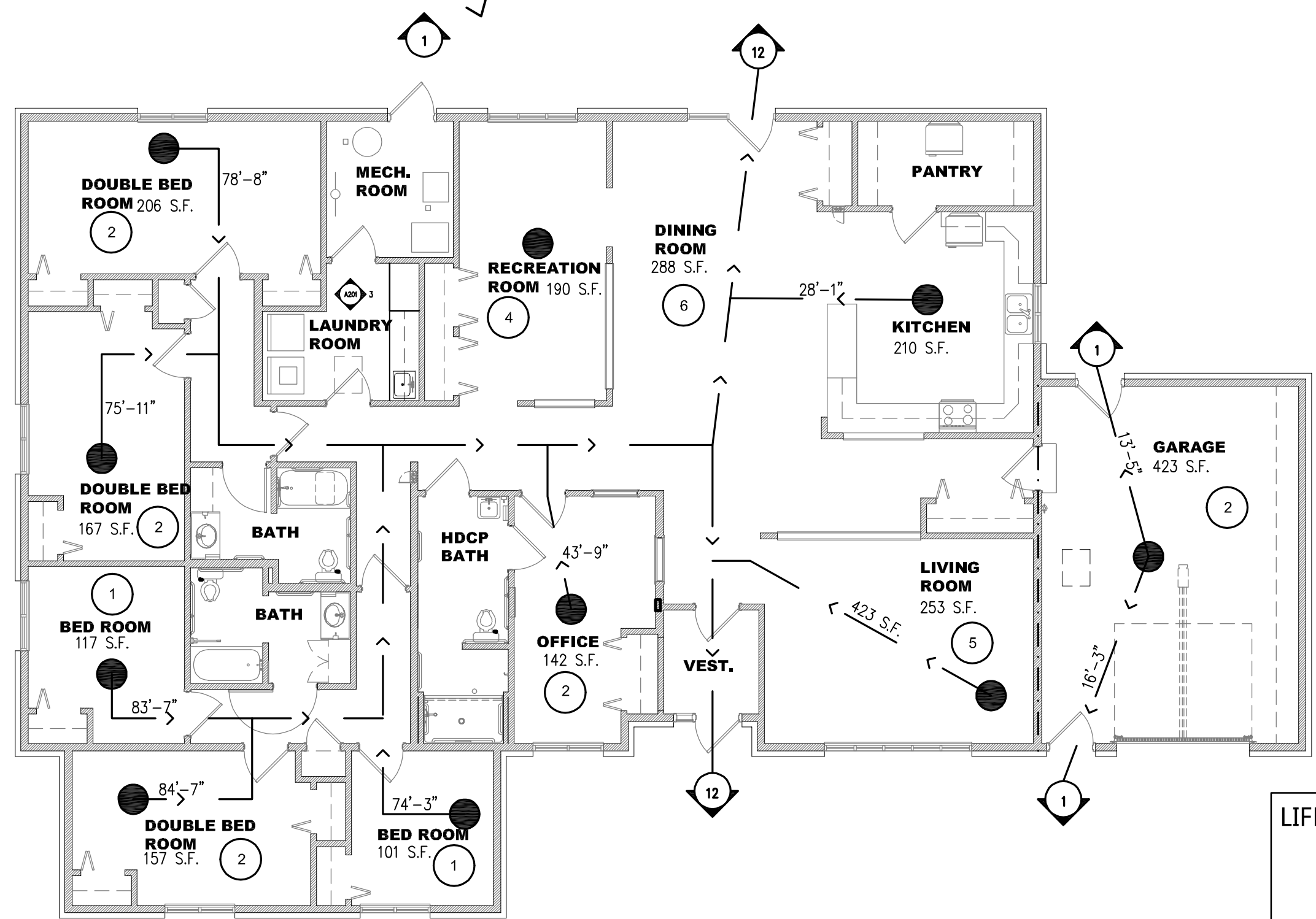
- PLUMBING**
- P201 UNDERGROUND, FIRST FLOOR AND MEZZANINE PLUMBING PLANS

- MECHANICAL**
- M100 MECHANICAL SITE PLANS

- ELECTRICAL**
- E001 ELECTRICAL SYMBOLS & ABBREVIATIONS LEGEND
 - E100 ELECTRICAL SITE PLAN



SITE LOCATION



CODE ANALYSIS	
PROJECT	OPPORTUNITY FOUNDATION GROUP HOMES
OWNER	OPPORTUNITY FOUNDATION, INC.
ADDRESS	701 8TH STREET EAST & 526 RECLAMATION DRIVE, WILLISTON, NORTH DAKOTA 58801
DESCRIPTION & INFORMATION	BUILDING IS EXISTING WOOD FRAMED GROUP HOME ON CRAWL SPACE NEW BUILDING NO ATTIC SPACE YES OCCUPANCY CHANGE NO ADDITION NO EXIST. SPRINKLED YES BASEMENT NO REMODEL YES EXIST. FIRE RATINGS YES CRAWL SPACE YES
REFERENCED CODES	2021 INTERNATIONAL BUILDING CODE (IBC) W/ AMENDMENTS 2021 EXISTING BUILDING CODE OF ND WITH AMENDMENTS 2021 INTERNATIONAL MECHANICAL CODE 2018 UNIFORM PLUMBING CODE 2021 NATIONAL ELECTRICAL CODE W/ AMENDMENTS 2021 INTERNATIONAL ENERGY CONSERVATION CODE
BUILDING OCCUPANCY	EXISTING CLASSIFICATION: I-1 GROUP (SEC. 308.2)
SPECIAL REQUIREMENTS	AUTOMATIC FIRE SPRINKLERS REQUIRED (420.3) FIRE ALARM & SMOKE ALARMS REQUIRED (420.6) FIRE RESISTANT CORRIDORS REQUIRED (420.7)
BUILDING ALLOWABLES	ALLOWABLE BUILDING HEIGHT: 55 FEET (TABLE 504.3) ALLOWABLE NUMBER OF STORIES: 3 STORIES (TABLE 504.4) ALLOWABLE BUILDING AREA: 1-1: 10,000 SF (3,757.5 SF ACTUAL) (TABLE 506.2) ALLOWABLE FRONTAGE INCREASE: 30 FEET OR GREATER: .25 (SEC. 506.3.3)
BUILDING AREA	EXISTING BUILDING: EXISTING SQUARE FOOTAGE: 3,757.5 S.F. EXISTING PERIMETER: 287'-0" EXISTING NUMBER OF STORIES: 1 STORY EXISTING FRONTAGE: 50'-0" I-1: ACTUAL 3,757.5 SF IS LESS THAN 10,000 SF $A_n = [(A_s + (NS \times 1))] / NS$ $A_s = \text{Allowable area (square feet)}$ $A_t = \text{Tabular allowable area factor}$ $NS = \text{Tabular allowable area factor}$ $I = \text{Area factor increase due to frontage (percent)}$ $A_n = [(10,000 + (10,000 \times .25)) / 1.25]$ $A_n = 15,000 \text{ ALLOWABLE AREA}$ $A_n = \text{ACTUAL } 3,757.5 \text{ SF IS LESS THAN } 15,000 \text{ SF}$ (SEC. 506.2) (SEC. 506.2.2)
FIRE SEPARATION BETWEEN OCCUPANCIES	REQUIRED SEPARATION OF OCCUPANCIES: GROUP I-1 / GARAGE: 1 HOUR (TABLE 508.4)
INCIDENTAL USES	AUTOMATIC SPRINKLER SYSTEM-REQUIRED -FURNACE ROOM -BOILER ROOM (TABLE 509)
CONSTRUCTION TYPE	II-B - SPRINKLED FIRE-RESISTANCE RATING FOR BUILDING ELEMENTS (SEE FLOOR PLANS FOR LOCATIONS) TYPE II-B REQUIRED FIRE RATINGS: STRUCTURAL FRAME: = 0 HOUR BEARING WALLS: = 0 HOUR NON-BEARING WALLS: = 0 HOUR FLOOR CONSTRUCTION: = 0 HOUR ROOF CONSTRUCTION & HEIGHT: = 0 HOUR FIRE WALLS: = 0 HOUR FIRE BARRIERS: = 0 HOUR SHAFT ENCLOSURES: = 0 HOUR FIRE PARTITIONS: = 0 HOUR SMOKE BARRIERS: = 0 HOUR SMOKE PARTITIONS: = 0 HOUR (SEC. 602.2) (TABLE 601)
FIRE PROTECTION	GROUP I-1 AN AUTOMATIC SPRINKLER SYSTEM IS REQUIRED THROUGHOUT. BUILDING IS FULLY SPRINKLED WITH NFPA TYPE 13 FIRE EXTINGUISHERS FOR CLASS A FIRE HAZARDS MINIMUM RATED SINGLE EXTINGUISHER: 2-A 10-B-C. MAXIMUM FLOOR AREA PER UNIT: 11,250 S.F. MAXIMUM DISTANCE OF TRAVEL TO EXTINGUISHER: 75'-0" GROUP A-2 A FIRE ALARM SYSTEM IS REQUIRED THROUGHOUT. (SEC. 903.2.6) (SEC. 903.3.1.1) (SEC. 906.1) (TABLE 906.1) (TABLE 906.3)(1)
EGRESS CRITERIA	REFER TO LIFE SAFETY PLANS FOR COMPLIANCE (TABLE 1004.5) ROOM BEDROOMS SQUARE FOOTAGE FACTOR OCCUPANT LOAD SINGLE VARIES S.F. 120 GROSS 2 OCCUPANTS DOUBLE VARIES S.F. 120 GROSS 6 OCCUPANTS OFFICE 142 S.F. 110 GROSS 1 OCCUPANT RECREATION ROOM 190 S.F. 50 NET 4 OCCUPANTS LIVING ROOM 253 S.F. 50 5 OCCUPANTS DINING ROOM 288 S.F. 50 6 OCCUPANTS GARAGE 423 S.F. 200 2 OCCUPANTS TOTALS: 26 OCCUPANTS EGRESS WIDTH PER OCCUPANT (0.2" PER OCCUPANT) OCCUPANT LOAD: SMILING MOOSE: 0.2" x 26 = 5.2" MINIMUM PER OCCUPANT 60" ACTUAL COMMON PATH OF EGRESS TRAVEL = 75 FT. COMPLIES (WITH SPRINKLER SYSTEM) MAXIMUM DISTANCE OF TRAVEL = 250 FT. COMPLIES (WITH SPRINKLER SYSTEM) MINIMUM CORRIDOR WIDTH = 44 INCHES MAXIMUM DEAD END CORRIDOR DISTANCE = 20 FT. COMPLIES (SEC. 1005.3.2) TABLE 1006.2.1 (TABLE 1017.2) (TABLE 1017.3) (SEC. 1020.5)
EGRESS CRITERIA	THE FACILITY IS ACCESSIBLE AND FULLY COMPLIES WITH ICC A117.1-2017 (TABLE 2902.1)
PLUMBING FACILITIES	ROOM OCCUPANTS WATER CLOSETS LAVATORIES SHOWERS SERVICE SINK (TABLE 2902.1) 701 GROUP HOME 26 OCCUPANTS 1 PER 10 1 PER 10 1 PER 8 1 526 GROUP HOME 26 OCCUPANTS 1 PER 10 1 PER 10 1 PER 8 1
ENERGY CODE	WILLIAMS COUNT: ZONE 6A ENERGY CODE SHALL NOT BE USED TO REQUIRE THE REMOVAL, ALTERATION, OR ABANDONMENT OF, NOR PREVENT THE CONTINUED USE AND MAINTENANCE OF, AN EXISTING BUILDING OR BUILDING SYSTEM LAWFULLY IN EXISTENCE. (TABLE C301.1) (SEC. C501.1.1, C503.1)

CONTACT INFORMATION



PROJECT MANAGER
GLORIA LARSGAARD
gloria.larsgaard@eapc.net
MINOT: (701) 839-4547
2080 36th Ave. St Suite 200
Minot, ND 58701

PROJECT ARCHITECT
BURTON E. YOUNGS
burton.youngs@eapc.net
WILLISTON: (701) 572-6759
313 Main St Suite 200
Williston, ND 58801



MECHANICAL ENGINEER
CALEB BULOW
cbulow@prairieengineeringpc.com
MINOT: (701) 852-6363
1905 17th Street East
Minot, ND 58701

ELECTRICAL ENGINEER
JASON HUNZE
jhunze@prairieengineeringpc.com
MINOT: (701) 852-6363
1905 17th Street East
Minot, ND 58701

THIS DOCUMENT WAS ORIGINALLY ISSUED AND SEALED BY BURTON E. YOUNGS
REGISTRATION NUMBER 1132 ON 12/03/2024 AND THE ORIGINAL DOCUMENTS ARE STORED AT WILLISTON, ND OFFICE

CLIENT
OPPORTUNITY FOUNDATION, INC.

PROJECT DESCRIPTION
GROUP HOMES LAUNDRY ROOM REMODEL

CITY WILLISTON
STATE NORTH DAKOTA

ISSUE DATES
ARCHITECTURAL STAMP

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Registered Architect under the laws of the State of North Dakota.

Name: *Burton E. Youngs*
Date: 12/03/2024 Reg. No. 1132

CD	CONSTRUCTION DOCUMENTS	12/03/2024
MARK	DESCRIPTION	DATE

PROJECT NO: 20246090
DRAWN BY: BEY
CHECKED BY: ###

COPYRIGHT:
All plans, specifications, computer files, field data, notes and other documents and instruments prepared by EAPC as instruments of service shall remain the property of EAPC. EAPC shall retain all copyright therein.

DRAWING TITLE
COVER/CODE SHEET

G001

THIS DOCUMENT WAS ORIGINALLY ISSUED AND SEALED BY BURTON E. YOUNGS REGISTRATION NUMBER 1132 ON 12/03/2024 AND THE ORIGINAL DOCUMENTS ARE STORED AT WILLISTON, ND OFFICE.

CLIENT

OPPORTUNITY FOUNDATION, INC.

PROJECT DESCRIPTION

GROUP HOMES LAUNDRY ROOM REMODEL

CITY WILLISTON

STATE NORTH DAKOTA

ISSUE DATES

ARCHITECTURAL STAMP

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Registered Architect under the laws of the State of North Dakota.

Name: *Burton E. Youngs*
Date: 12/03/2024 Reg. No. 1132

CD	CONSTRUCTION DOCUMENTS	12/03/2024
MARK	DESCRIPTION	DATE

PROJECT NO: 20246090

DRAWN BY: BEY

CHECKED BY: ###

COPYRIGHT:
All plans, specifications, computer files, field data, notes and other documents and instruments prepared by EAPC or instruments of service shall remain the property of EAPC. EAPC shall retain all common law, statutory and other reserved rights, including the copyright therein.

DRAWING TITLE

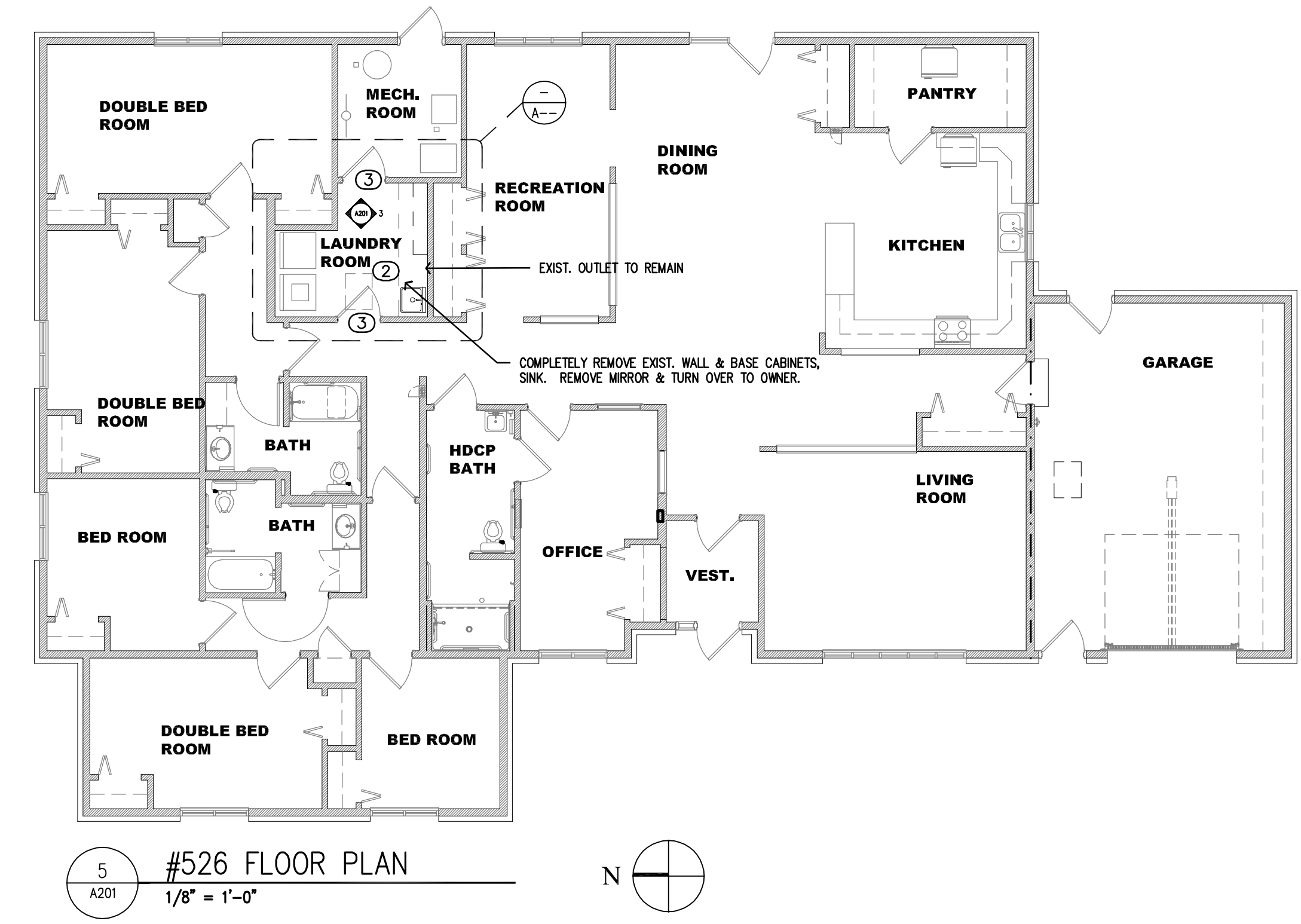
FLOOR PLANS, ELEVATIONS, DETAILS

A201

ROOM FINISH SCHEDULE											
RM #	ROOM NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	FINISH	CEILING	HEIGHT	NOTES
100	LAUNDRY ROOM	SHV	V	PNT-1	PNT-1	PNT-1	PNT-1	EXIST.	8'-6"		

- NOTES:
1. FLOOR HEAT, ALTERNATE #3
2. TS1 - TRANSITION SHV/CONC.
3. TS2 - TRANSITION CPT/CONC.
4. TS3 - TRANSITION MAT/CPTT
5. PAINT PRECAST WALLS, ALTERNATE #4
6. PAINT EXPOSED STRUCTURE & CEILING, ALTERNATE #5
- LEGEND:
ACT = ACOUSTICAL CEILING TILE
CONC = SEALED CONCRETE
EXP = EXPOSED CEILING PAINTED
PNT = PAINT
CPTT = CARPET TILE
V = VINYL BASE
SHV = SHEET VINYL

OVERALL GENERAL DEMOLITION NOTE:
THE OWNER HAS FIRST REFUSAL BEFORE ITEMS ARE DISPOSED OF.

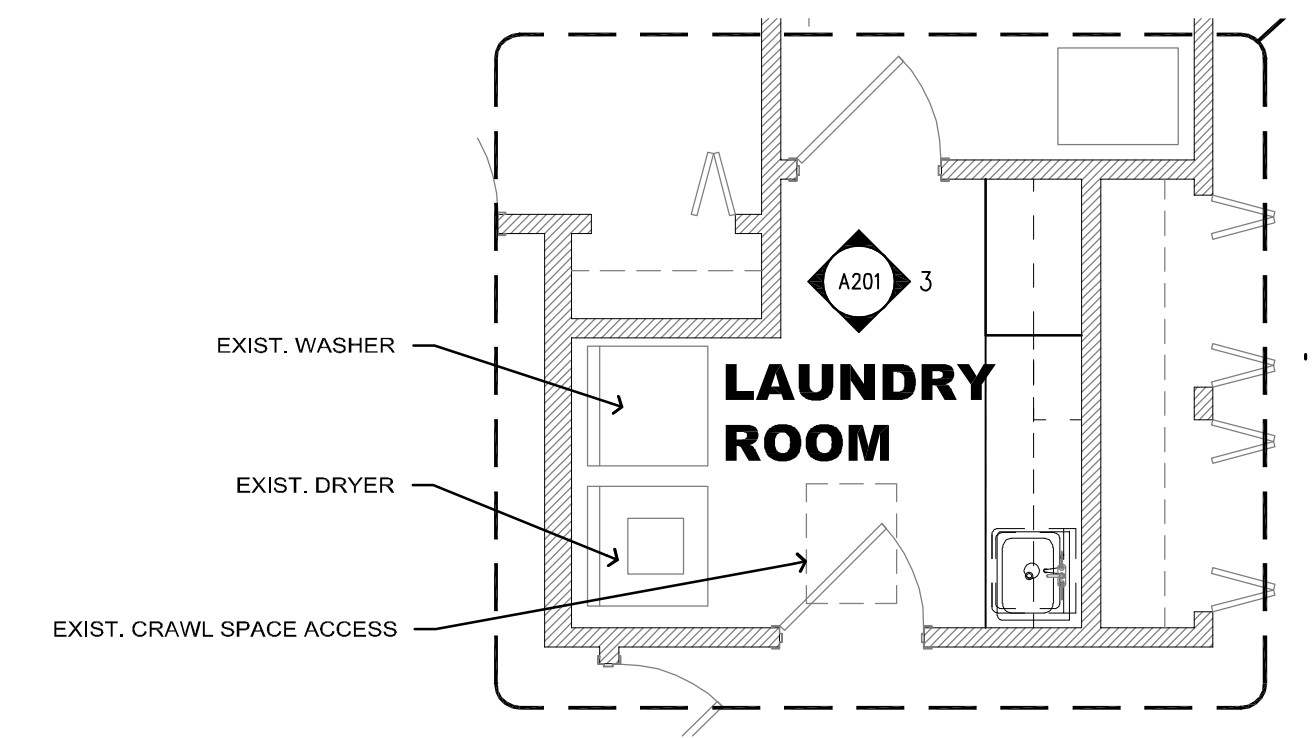


5 A201 #526 FLOOR PLAN
1/8" = 1'-0"

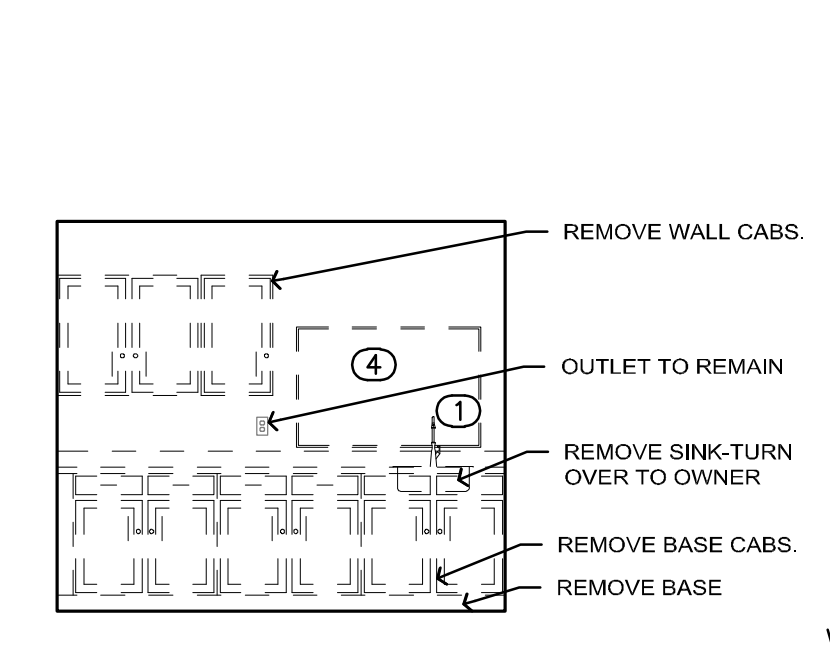
- GENERAL NOTES
- DO NOT SCALE DRAWINGS.
 - VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
 - THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL; THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.
 - DIMENSIONS ARE TO THE FINISH SURFACES UNLESS OTHERWISE NOTED.
 - SEE MECHANICAL AND ELECTRICAL FOR THEIR RESPECTIVE WORK.
 - VERIFY SIZE AND LOCATION OF ALL MECHANICAL WALL, FLOOR AND ROOF OPENINGS.
 - ALL CONTRACTORS COORDINATE ALL ARCHITECTURAL, MECHANICAL, AND ELECTRICAL CONSTRUCTION WORK.
 - GENERAL CONTRACTOR COORDINATE WITH M&E CONTRACTORS ON RESPECTIVE ROUGH-IN SIZES AND LOCATIONS.
 - SEE ROOM FINISH SCHEDULE FOR FINISHES AND UNDERLAYMENTS.
 - PROVIDE BLOCKING AT ALL CASEWORK, SHELVING, AND TOILET ACCESSORIES MOUNTING POINTS. REMOVE AND REPLACE DRYWALL AS NECESSARY AT EXISTING WALLS TO INSTALL BLOCKING.
 - ALL DRYWALL WALLS AFFECTED BY DEMOLITION TO BE REPAIRED TO MATCH EXISTING IN PREPARATION FOR NEW FINISHES, UNLESS SCHEDULED FOR DEMOLITION OR NOTED OTHERWISE.

- DEMOLITION NOTES:
- REMOVE CABINETS, COORD. SINK REMOVAL (BY M.C.) W/ M.C.
 - REMOVE FLOORING & BASE. PREP FLOOR FOR NEW FLOORING.
 - EXISTING DOOR TO REMAIN.
 - REMOVE MIRROR-TURN OVER TO OWNER.

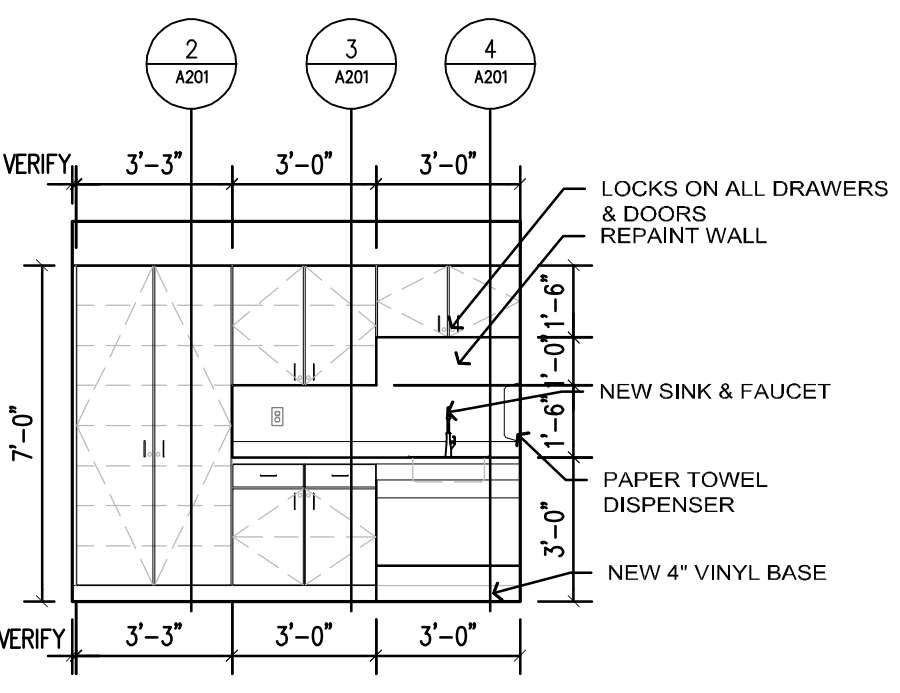
- NOTES:
1. EXIST. ELECTRICAL OUTLET TO REMAIN.
2. NEW SINK & FAUCET.
3. REUSE EXIST. PAPER TOWEL DISPENSER.
4. REUSE EXIST. SOAP DISPENSER.
5. ALL DOOR CABINETS HAVE LOCKS.
6. HANDICAP SINK CABINET.
7. NO LOCKS ON LAUNDRY ROOM CABINETS FOR 526 RECLAMATION DRIVE GROUP HOME.



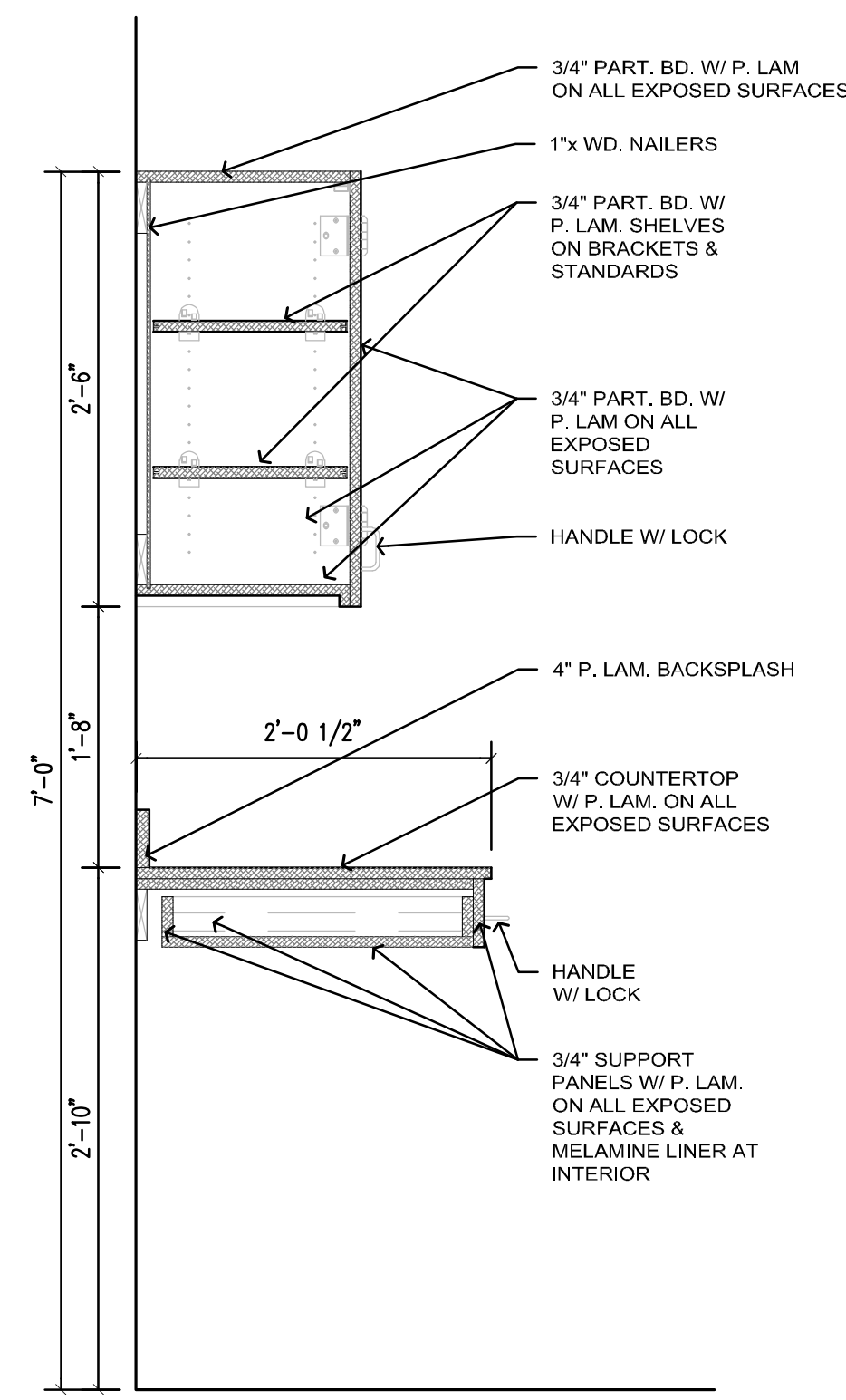
8 A201 ENLARGED LAUNDRY PLAN
1/4" = 1'-0"



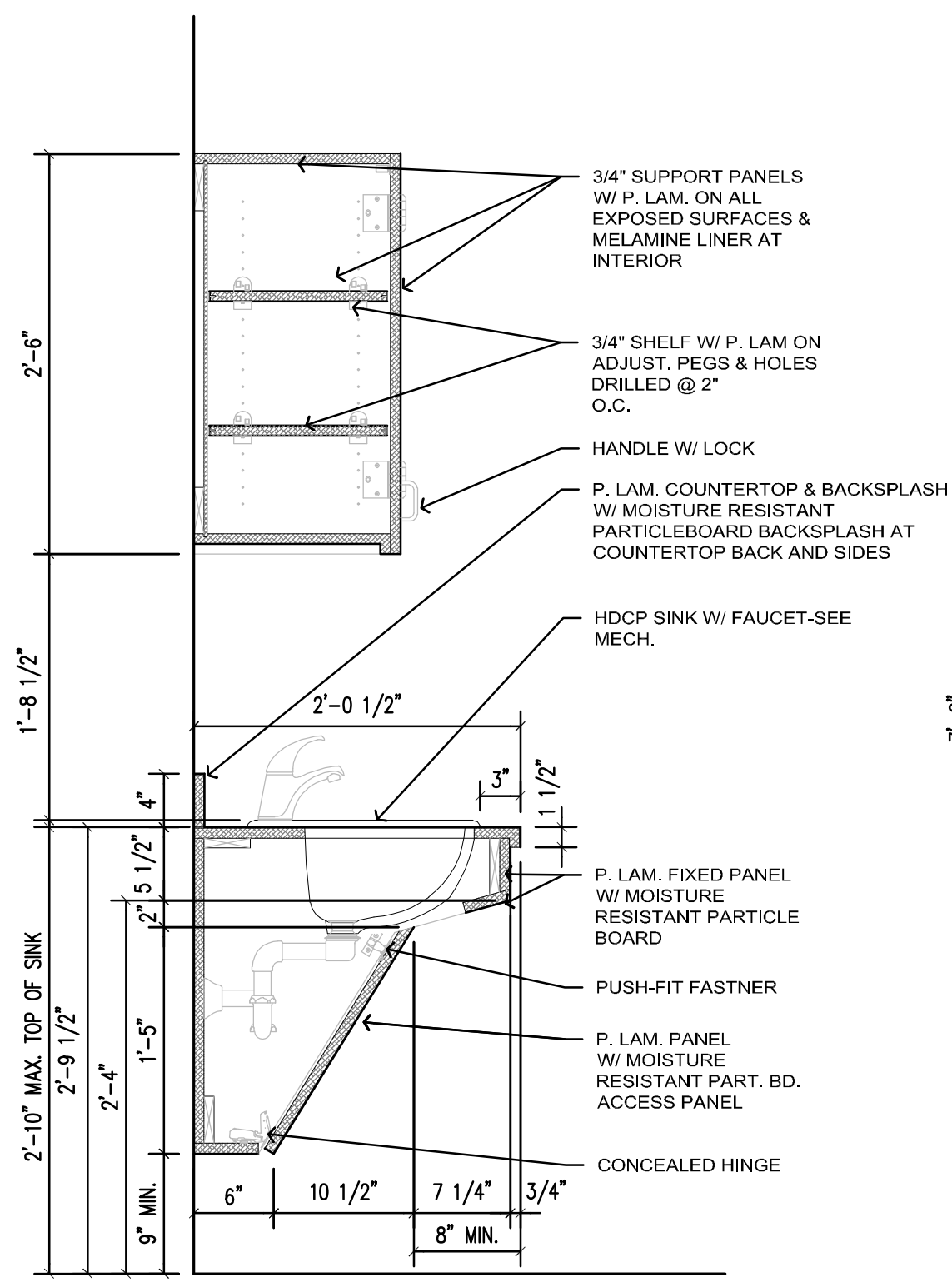
7 A201 EXIST. LAUNDRY
1/4" = 1'-0"



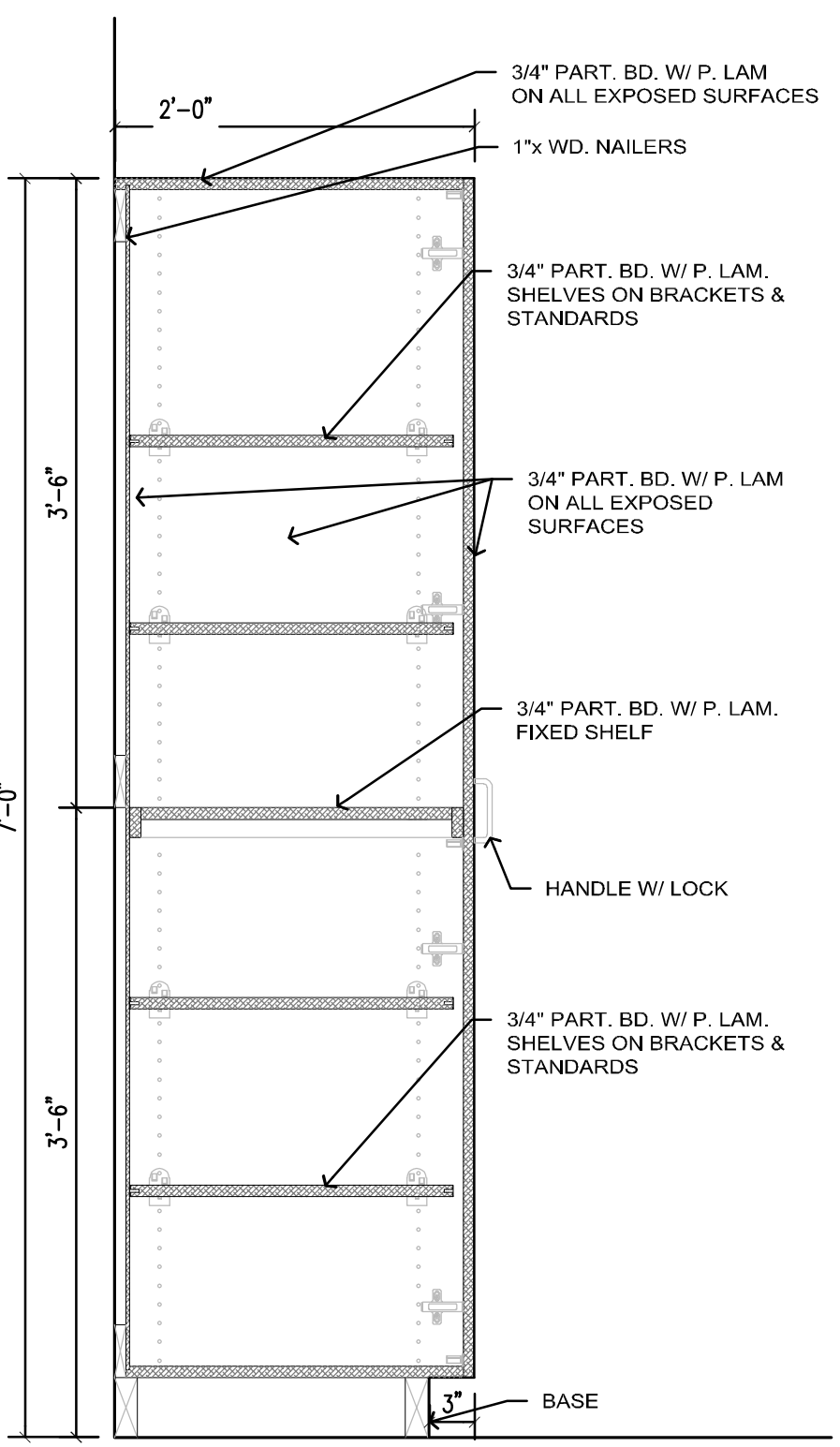
6 A201 NEW LAUNDRY
1/4" = 1'-0"



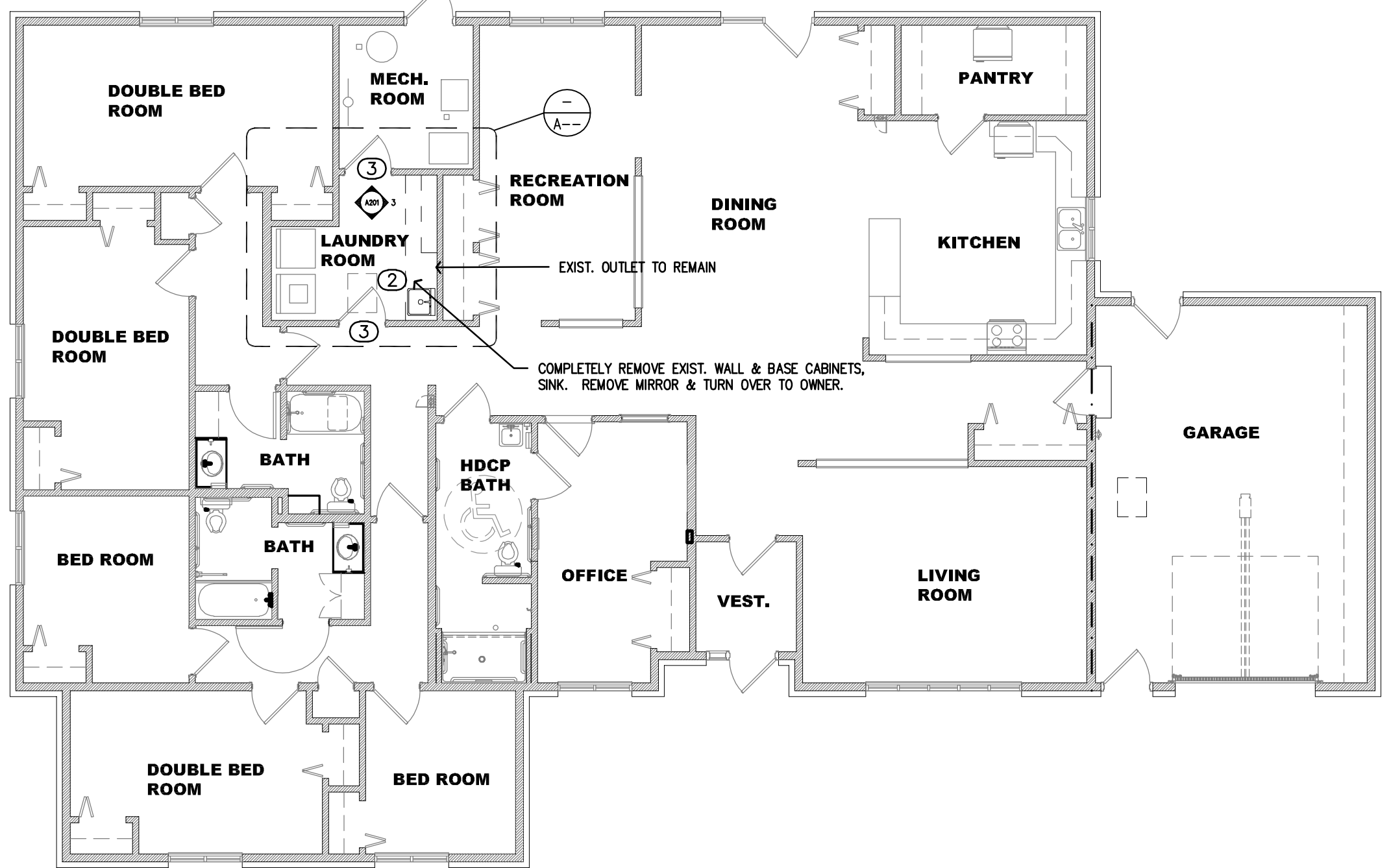
4 A201 COUNTER SECTION
1" = 1'-0"



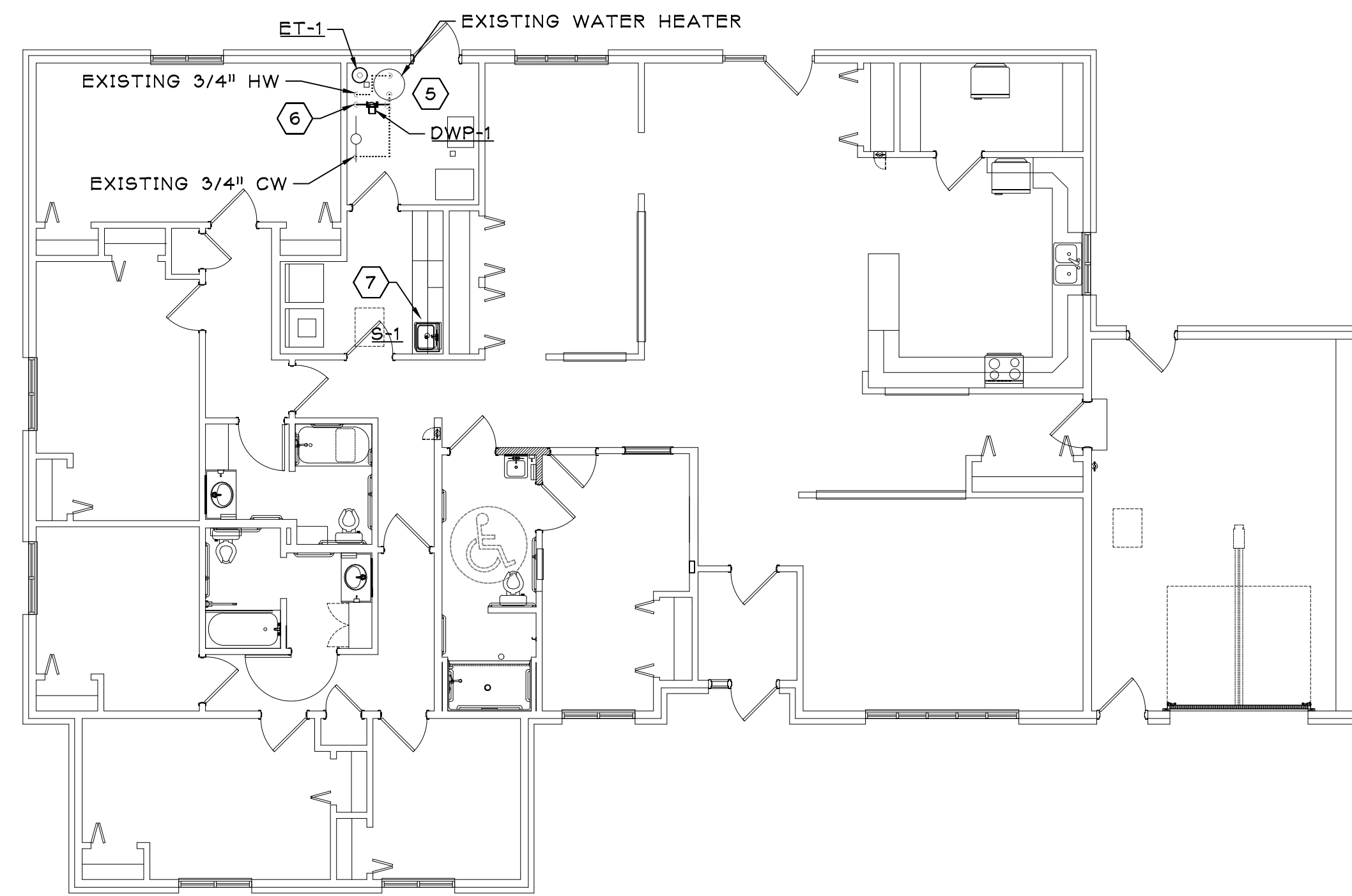
3 A201 SINK SECTION
1" = 1'-0"



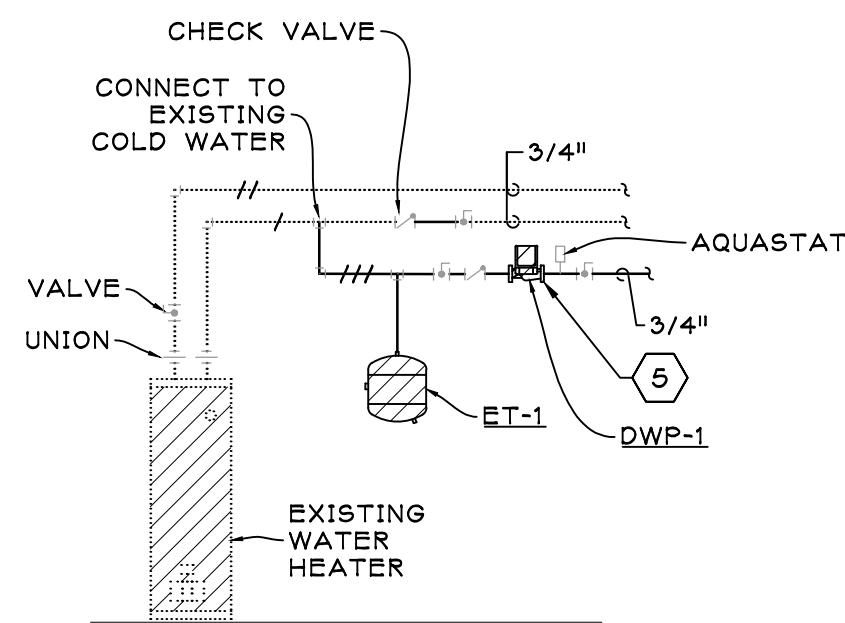
2 A201 TALL CABINET SECTION
1" = 1'-0"



1 A201 #701 FLOOR PLAN
1/8" = 1'-0"



1
M101
1/8" = 1'-0"
FIRST FLOOR PLUMBING PLAN
NORTH



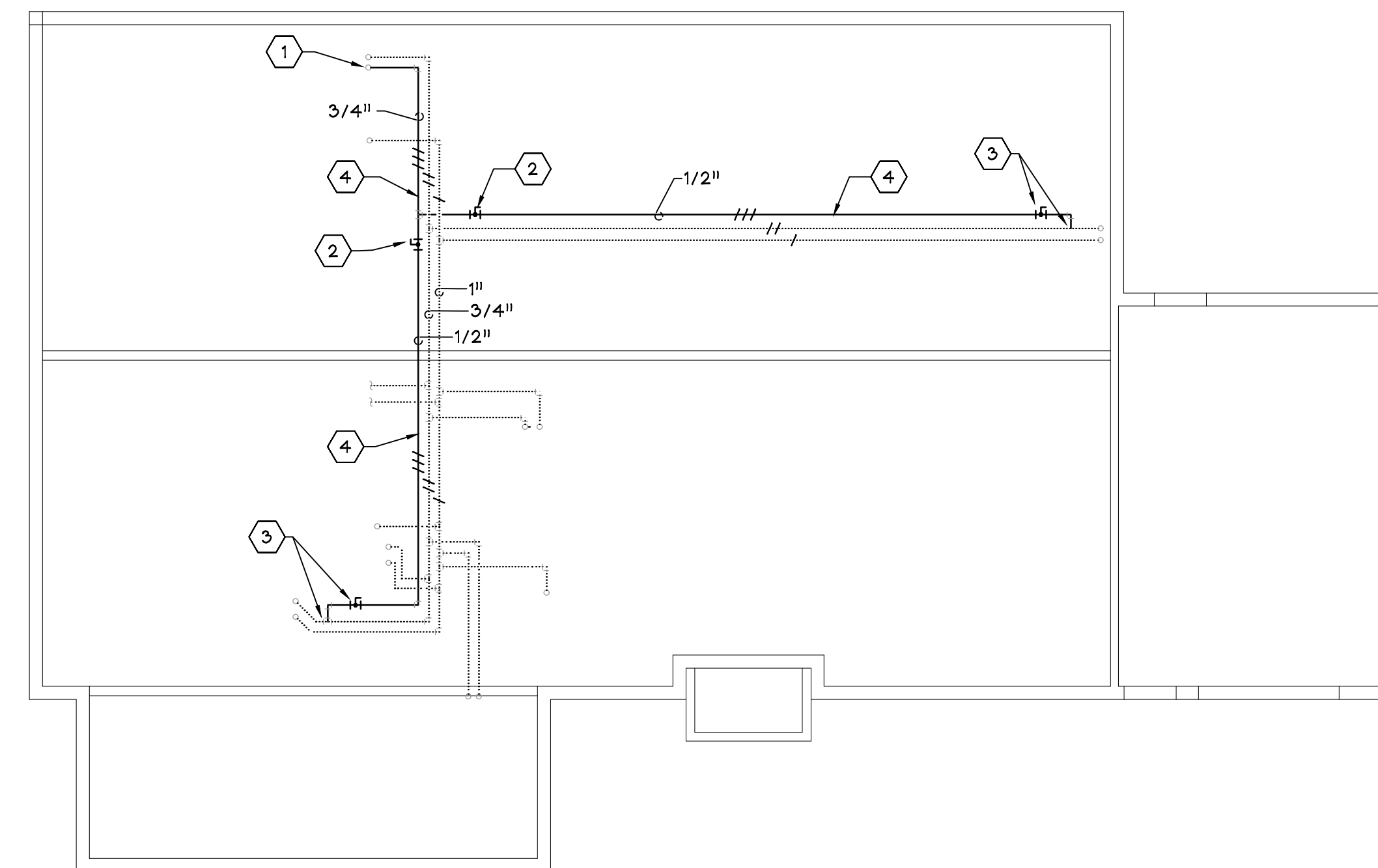
3
M101
NTS
WATER HEATER DETAIL

PUMP SCHEDULES										
MARK	MFR	MODEL	TYPE	FUNCTION	FLOW	HEAD	RPM	HP	ELECTRICAL	NOTES
DWP-1	TACO	003-PNP	WET ROTOR	HW RECIRC	3	3	3650	0.13	120/1/60	1, 2

NOTES
 1) SINGLE SPEED MOTOR.
 2) INCLUDE TIMER, AQUA-STAT, AND MINIMUM 5' CORD AND PLUG.

EXPANSION TANK SCHEDULE									
MARK	MFR	MODEL	AIR SEPARATOR		PRESSURE (PSI)		VOLUME (GAL)		FLUID
			FILL	FINAL	ACCEPT.	TANK	EST. SYS.		
ET-1	AMTROL	ST-5	DIAPHRAM	0	150	N/A	2	N/A	WATER

PLUMBING FIXTURE SCHEDULE													
MARK	FIXTURE			ADA	FAUCET/VALVE			CONNECTIONS					DESCRIPTION
	TYPE	MFR	MODEL		MFR	MODEL	OPTION	CW	HW	TEMP.	WASTE	VENT	
S-1	LAVATORY	KOHLER	K-2196	YES	KOHLER	K-15198	SINGLE HANDLE	1/2"	1/2"		1-1/2"	1-1/4"	Counter mounted, self-rimming, vitreous china, oval, single handle faucet, 1.5 gpm



2
M101
1/8" = 1'-0"
CRAWL SPACE PLUMBING PLAN
NORTH

GENERAL NOTES

- PERFORM WORK IN ACCORDANCE WITH THE LATEST EDITIONS, REVISIONS, AMENDMENTS OR SUPPLEMENTS OF APPLICABLE STATUTES, ORDINANCES, CODES OR REGULATIONS OF FEDERAL, STATE, AND LOCAL AUTHORITIES HAVING JURISDICTION IN EFFECT ON THE DATE THE DRAWING PACKAGE IS ISSUED.
- ARRANGE WITH AUTHORITIES AND UTILITY COMPANIES FOR PERMITS, FEES AND SERVICE CONNECTIONS. VERIFY LOCATIONS AND ARRANGEMENTS AND PAY ALL CHARGES, INCLUDING INSPECTIONS.
- INSTALL PIPING AND DUCTWORK TO PROVIDE THE MAXIMUM CLEAR HEIGHT UNDERNEATH UNLESS OTHERWISE NOTED.
- THE ENTIRE SYSTEM AND ITS COMPONENT ITEMS SHALL OPERATE WITHOUT OBJECTIONABLE NOISE AND VIBRATION.
- PIPE ROUTING IS SHOWN WITH AN EXAGGERATED SPACING FOR CLARITY. ACTUAL PLACEMENT OF PIPING SHOULD BE DONE COLLECTIVELY AND IN SUCH A MANNER AS NOT TO CONFLICT WITH LOCATION SENSITIVE COMPONENTS SUCH AS LIGHT FIXTURES.
- PROVIDE FIRE-STOP AROUND PIPE AND/OR DUCT PENETRATIONS THROUGH FIRE RATED FLOORS AND WALLS.
- COORDINATE ALL SLAB PENETRATIONS AND SLEEVES PRIOR TO EACH CONCRETE POUR. PROVIDE SLEEVES AND INSERTS AS REQUIRED FOR PLACEMENT IN STRUCTURAL OR ARCHITECTURAL WORK.

LINE TYPE LEGEND

TO REMAIN	_____
NEW	_____
TO REMOVE	_____

PIPE LEGEND

ABOVE GROUND WASTE	_____
ABOVE GROUND VENT	_____
DOMESTIC COLD WATER	_____
DOMESTIC HOT WATER	_____
RECIRC. HOT WATER	_____
TEMPERED WATER	_____
RECIRC. TEMPERED WATER	_____
BALL VALVE	_____
STRAINER	_____
CHECK VALVE	_____
UNION	_____
BALL VALVE INDICATOR	_____

KEYNOTES

- 3/4" RECIRCULATING HOT WATER UP THROUGH FLOOR TO WATER HEATER IN THE MECHANICAL ROOM.
- RECIRCULATING HOT WATER WITH BALL VALVE FOR BALANCING.
- CONNECT NEW RECIRCULATING HOT WATER PIPE TO EXISTING HOT WATER WHERE SHOWN. PROVIDE ISOLATION BALL VALVE.
- PROVIDE NEW RECIRCULATING HOT WATER PIPING AS SHOWN.
- PROVIDE OUTLET IN WATER HEATER ROOM NEAR DWP-1. POWER FROM NEAREST WATER HEATER ROOM CIRCUIT
- PROVIDE 3/4" RECIRCULATING HOT WATER FROM BELOW AND CONNECT TO EXISTING COLD WATER PIPING. SEE DETAIL 3/M101.
- REMOVE EXISTING SINK FOR CABINET REPLACEMENT AND REPLACE WITH NEW SINK. REPLACE EXISTING STOPS AS REQUIRED.

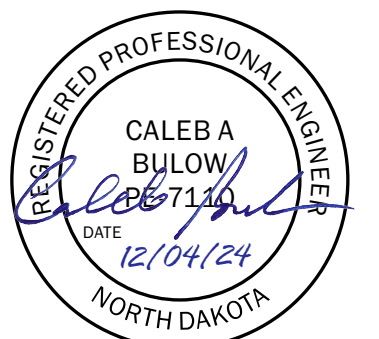


Architecture | Engineering | Industrial
 Wind Energy | Interior Design | Construction

TELE 701.572-6759
 313 Main Street Suite 200 Williston, ND 58801

Grand Forks ND | Fargo ND | Bismarck ND
 Williston ND | Minot ND | Norwich VT
 Bemidji MN | Buenos Aires ARG | Sioux Falls SD
 St. Paul MN | Fort Collins CO | Phoenix AZ

www.eapc.net



CLIENT

OPPORTUNITY FOUNDATION, INC.

PROJECT DESCRIPTION

GROUP HOMES LAUNDRY ROOM REMODEL

CITY WILLISTON

STATE NORTH DAKOTA

ISSUE DATES

01	CONSTRUCTION DOCUMENTS	12/04/24
MARK	DESCRIPTION	DATE

PROJECT NO: 20246090

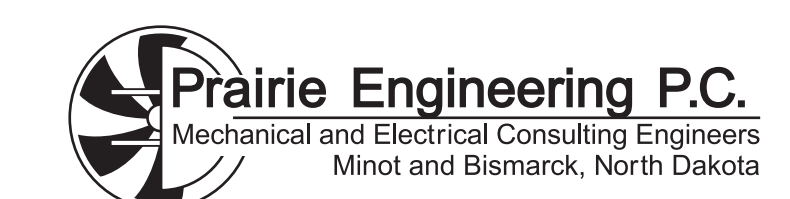
DRAWN BY: BHD

CHECKED BY: CAB

COPYRIGHT:
 All plans, specifications, computer files, field data, notes and other documents and instruments prepared by EAPC are instruments of service shall remain the property of EAPC. EAPC shall retain all common law, statutory and other reserved rights, including the copyright therein.

DRAWING TITLE

PLUMBING PLANS



Prairie Engineering P.C.
 Mechanical and Electrical Consulting Engineers
 Minot and Bismarck, North Dakota

M101